

COAL CITY PLANNING AND ZONING BOARD MEETING

**MONDAY
MARCH 7, 2016
7 P.M.**

**COAL CITY VILLAGE HALL
515 S. BROADWAY, COAL CITY, ILLINOIS**

AGENDA

1. Call meeting to order
2. Approval of Minutes-February 1, 2016

ZONING BOARD OF APPEALS PUBLIC HEARING

3. Conditional Use Permit
67 S. Broadway
Kristin Kotara
 - i. Swear in Testimonials
 - ii. Petitioner's Request
 - iii. Public Comment
 - iv. Board Consideration
 - v. Action on Request
4. Appeals Process Review
5. Adjourn

MEMO

TO: Planning & Zoning Board

FROM: Matthew T. Fritz
Village Administrator

MEETING

DATE: March 7, 2016

RE: AGENDA ITEMS FOR MARCH 7TH MEETING

67 S. Broadway, Conditional Use to allow a bar

Kristin Kotara of Emmy's Café has purchased the building at 67 S. Broadway that was formerly home to the Taste of Mexico & the Grill. Emmy's Café is a new concept that focuses upon bringing gaming into an upscale environment and away from a bar setting; however, the licensing concerning gaming machines follows the ability to pour liquor under the code of the local municipality. The owners are attempting to complete a buildout and restoration of the building in a manner that fully complies with the Core Area Design Guidelines.

The matter of utilizing gaming machines within the establishment are not a matter of zoning. However, in order to pour alcohol, Emmy's requires a conditional use. The petitioner has applied for the conditional use found in Table 7, Group R of the village code – a bar without live entertainment or dancing. The buildout of the former Taste of Mexico space would place this conditional use in a location that formerly had a liquor license as well as gaming machines.

This matter is scheduled for a public hearing on Monday evening.

Pertinent Code Section(s)

Section 156.93, Table 7, Group R (5)

Zoning Administrator and Building Official Appeals Process

The Building Department has provided nearly 2,000 inspections throughout the community during the restoration and rebuilding process that has been taking place since last summer and fall. Along with the large scale increase in permit activity is a list of contractors that has swelled to more than 5 times the amount who usually register to complete work with the village on an annual basis. There can be differences of opinion as to how the inspectors determine the application of a certain code or the procedure by which homes are delayed due to failed inspection, etc.

In order to facilitate the home owner returning to one's house ASAP, an internal review process has been utilized, which relies upon the temporary building dept. head (George Gray) to collect, analyze and investigate the information and deliver a recommendation to the Village Administrator for determination. This is leading to an exhaustive utilization of resources and has only uncovered the building department's expertise as far as properly applying the village's adopted codes. At this point, if a contractor desires to appeal a decision, staff will provide the enclosed appeals process to allow them to appeal the determination that is before them. Please be aware of the possibility of this coming forward and the limited scope upon which the ZBA can make its determination when ruling upon a case brought to it.

COAL CITY ZONING APPLICATION

Owners name or beneficiary of land trust: Emmy's Cafe

Address: 67 South Broadway Phone number: 708-337-1334

Owner represented by: Self Attorney

Contract purchaser _____ Other agent _____

Agents name _____ Phone number: _____

Address: PO Box 1060 New Lenox IL 60451

Existing zoning: C4 Use of surrounding properties: North C4 South C4

East RS3 West C4

What zoning change or variance: (specify) _____

To allow what use Conditional use within C4 zoning.

Tax number of subject property: 09-02-101-008

Common address of property: 67 S. Broadway

Parcel dimensions: 37.50' x 150' Lot area (sq. ft.) 5,625

Street frontage 37.50'

Legal description ATTACHED

In addition, the applicant must comply with the ZONING ORDINANCE OF THE VILLAGE OF COAL CITY, adopted June 1, 1989, Chapter II, sections A through F available for review at the Village Clerks office. Also attached to the application are tables 1, 2 and 3 for the applicant's reference.

I, (we) certify that all of the above statements and the statements contained in any papers or plans submitted herewith are true to the best of my (our) knowledge and belief.

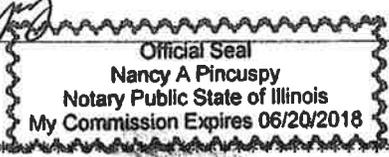
Kristin Kotava, being first duly sworn, on oath deposes and says,
Applicant's Name

that all of the above statements and the statements contained in the documents submitted herewith are true.

Subscribed and sworn before me on this 11 day of February, 2016.

Nancy A. Pincuspy

Notary Public (Seal)



Kristin Kotava

Signature of Owner

You may attach additional pages, if needed, to support the documentation of application.

Please note the number of pages attached. _____

FOR OFFICE USE ONLY

Case number	<u>ZA-268</u>	Location of hearing
Filing date	<u>2-11-16</u>	Village Hall
Hearing date	<u>3-7-16</u>	515 South Broadway
Filing fee	<u>\$ 100.00</u>	Coal City, Illinois
Hearing time	<u>7pm</u>	

NOTICE

NOTICE IS HEREBY GIVEN, that a Public Hearing will be held by the Coal City Zoning Board of Appeals on the Zoning Ordinance on the 7th day of March, 2016, at 7 o'clock p.m. in the office of the Board of Appeals, Coal City Village Hall, 515 South Broadway, Coal City, Illinois on the following matter:

To consider: A Conditional Use to allow a bar without live entertainment or dancing as set forth in Table 7, Group R(5) of the Village Zoning Code.

At the following address: 67 South Broadway

Legal description of property: Attached.

Request for the above appeal was applied for by: Kristin Kotara

Said Board of Appeals will be at said time and place to hear all persons in support of such matter or any objection thereof.

Persons may appear in person or by agent.

Dated this 11th day of February, 2016.

A PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 2, TOWNSHIP 32 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT A POINT 290 FEET SOUTH OF THE SOUTHEAST CORNER OF THE INTERSECTION OF BROADWAY AND DIVISION STREETS IN THE VILLAGE OF COAL CITY; THENCE EAST 150 FEET, THENCE SOUTH 37 ½ FEET, THENCE WEST 150 FEET, THENCE NORTH 37 ½ FEET TO THE POINT OF BEGINNING; ALSO KNOWN AND DESCRIBED AS THE SOUTH 10 FEET OF LOT 6 AND THE NORTH 27 ½ FEET OF LOT 7 IN BLOCK 5, ASSESSOR'S SUBDIVISION OF THE VILLAGE OF COAL CITY, (EXCEPT COAL AND OTHER MINERALS UNDERLYING SAID PREMISES AND THE RIGHT TO MINE AND REMOVE THE SAME); IN GRUNDY COUNTY, ILLINOIS**

Emmy's Café, Ltd.

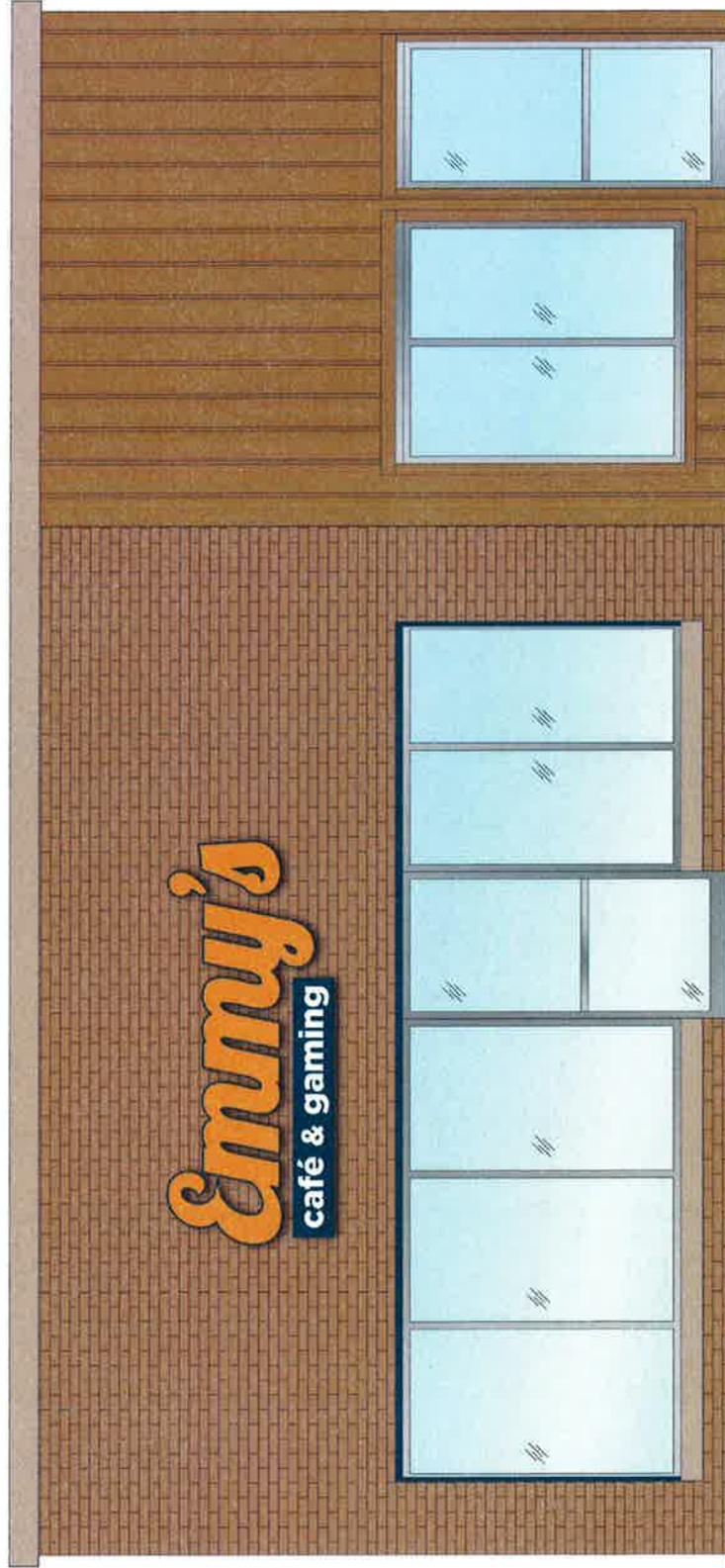
Table 24: Approval Criteria For Conditional Uses

RESPONSES

1. Traffic: We do not expect to have any adverse impact of types or volumes of traffic flow not otherwise typical in the zoning district. There will be maximum number of seating made available to patrons (less than 20 designated seats).
2. Environmental Nuisance: We do not expect there to be any adverse affects of noise, glare, odor, dust, waste disposal, blockage or light or air, or any other environmental effects of a type or degree. Waste removal and noise will be appropriately controlled and we do not foresee the business use having or causing environmental nuisances. In the event an unforeseen instance arises Emmy's Cafe Ltd. will take the appropriate action to comply.
3. Neighborhood Character: The use of Emmy's Café will fit harmoniously with the existing natural or man-made character of its surroundings, and with permitted uses in the zoning district.
4. Public Services and Facilities: True, the proposed use will not require existing community facilities or services to a degree not disproportionate to that normally expected of permitted uses in the district nor generate disproportionate demand for new services or facilities, in such a way as to place undue burdens upon existing development in the area.
5. Public Safety and Health: True, the proposed use will not be detrimental to the safety or health of the employees, patrons, or visitors associated with the use nor of the general public in the vicinity.
6. Other Factors: Emmy's Café does support that the proposed use is in harmony with any other elements of the compatibility pertinent in the judgment of the Village Board to the particular conditional use or its particular location.

02-01-2016
EMMAS03

**EXTERIOR RENDERING FOR
EMMY'S CAFE - COAL CITY, ILLINOIS
SCALE: 3/8" = 1'-0"**



EMMY'S CAFE

TENANT INFORMATION TO BE DETERMINED



PMS 2189 C

except in emergency situations, or when consent of the person having charge or control of such building or premises has been otherwise obtained.

§ 32-56. Procedure for entry.

If the building or premises to be inspected is occupied, the authorized officer or employee shall first present proper credentials and demand entry; and if such building or premises is unoccupied, the officer or employee shall first make a reasonable effort to locate the owner or other person having charge or control of the building or premises and demand entry. If consent to such entry is not given, the authorized officer or employee shall have recourse to every remedy provided by law to secure entry.

§ 32-57. Appeals.

In accordance with Section 112 of the International Building Code, appeals of orders, decisions or determinations made by the Building Official relating to application and interpretation of the International Building Code shall be heard by the Zoning Board of Appeals as set forth in § 156-313 of the Village Code.

ARTICLE V

Electrical Inspector

[Adopted as §§ 32.19 through 32.23 of the 1984 Code]

§ 32-70. Office created; appointment.

There is created the position of Electrical Inspector who shall be appointed by the Mayor.

§ 32-71. Powers.

The Electrical Inspector shall have the right during reasonable hours to enter any building in the Village in the discharge of his or her official duties or for the purpose of making an inspection or test of the electrical equipment therein. He or she shall have the duty and authority to enforce all the ordinances and code provisions relating to electric signs, electrical wiring, and electrically operated equipment. He or she shall have the power to cause the current in any wire or conduit to be turned off whenever this is necessary in an emergency for the protection of life or property.

§ 32-72. Inspections.

The Electrical Inspector shall make all inspections necessary to the enforcement of the Village ordinances. No electric wiring shall be covered until it has been inspected and approved.

§ 32-73. Stop order.

Whenever the Electrical Inspector shall find electrical work being done in violation of the Village ordinances or code, he or she shall have the power to order the work stopped until the

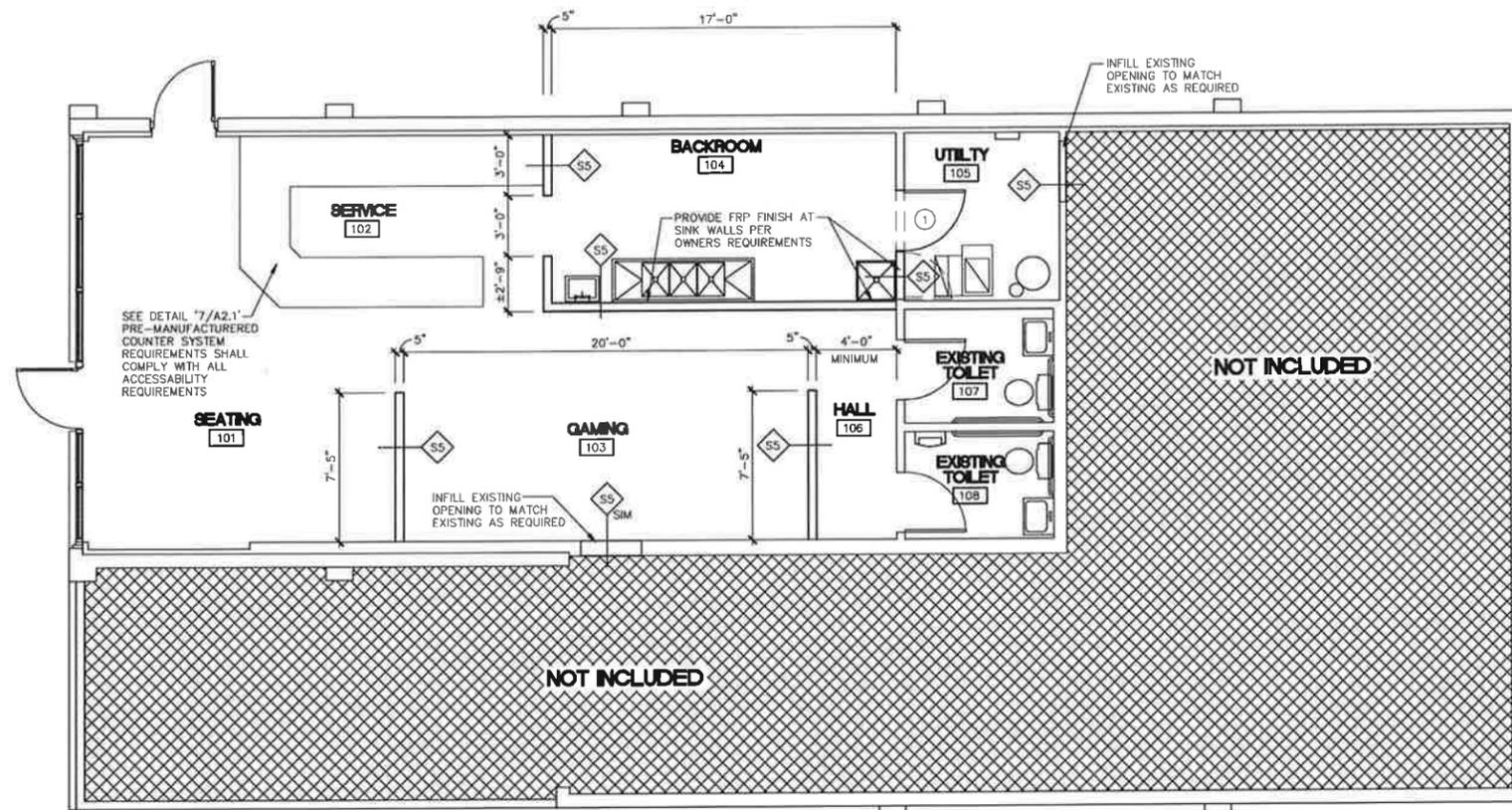
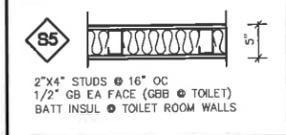
§ 156-315. Appeals.

- A. Applicability. Any party aggrieved by an administrative order, requirement, decision, or determination made under this chapter by the Zoning Administrator, Building Officer, or other authorized administrative official, board, commission, or department of the Village other than the Village Board may appeal to the Zoning Board of Appeals.
- B. Notice of appeal. A notice of appeal shall be filed with the Zoning Administrator within 45 days of the order or decision being appealed. The notice shall contain:¹
- (1) The name, address, and telephone number of the party filing the appeal.
 - (2) The location of the property affected by the decision being appealed.
 - (3) Identification of the provision of the chapter governing the decision being appealed.
 - (4) A statement of the grounds on which the appeal is based.
 - (5) The reason given by the administrative official or body for the decision.
 - (6) A brief summary of the factual evidence upon which the appeal is based.
 - (7) A plot plan and verbal description of the use affected by the decision being appealed.
- C. Stay of proceedings. The filing of a notice of appeal shall stay all proceedings in furtherance of the action appealed from unless the Zoning Administrator certifies to the Zoning Board of Appeals that in his or her judgment a stay would cause imminent peril to life or property. In such case, no proceedings shall be stayed without issuance of a restraining order by the Zoning Board of Appeals or a court of record.
- D. Hearing and action.
- (1) Upon receipt, the Zoning Administrator shall forthwith transmit the notice of appeal and the complete record of the decision to the Zoning Board of Appeals. The Zoning Board of Appeals shall fix a reasonable time for a hearing on the appeal and give a minimum of 10 days' notice to the party filing the notice.
 - (2) After the hearing, the Zoning Board of Appeals shall take final action on the appeal, whereby it may affirm, reverse, or modify the action being appealed, subject only to judicial review in accordance with applicable state law. To this end, a majority vote of all its members shall be required for the Zoning Board of Appeals to take any action.²
- E. Approval criteria for appeals. The Zoning Board of Appeals shall reverse the order appealed only if it finds that the action or decision appealed:
- (1) Was arbitrary or capricious;
 - (2) Was based on an erroneous finding of a material fact;
 - (3) Constituted an abuse of discretion; or
 - (4) Was based on erroneous interpretation of the Zoning Code or zoning law.

1. Editor's Note: Amended at time of adoption of Code (see Ch. 10, General Provisions, Art. I).

2. Editor's Note: Amended at time of adoption of Code (see Ch. 10, General Provisions, Art. I).

MATERIAL LEGEND



ALTERATIONS FLOOR PLAN

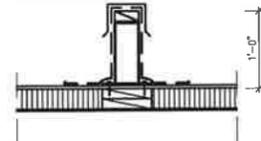
SCALE: 1/4" = 1'-0"



NOTE: GENERAL CONTRACTOR AND FIRE PROTECTION CONTRACTOR SHALL COORDINATE WITH OWNER AND LOCAL CODE OFFICIALS AND PROVIDE AND LOCATE FIRE EXTINGUISHERS AS REQUIRED. ALL WALL MOUNTED FIRE EXTINGUISHERS WITH THEIR LEADING EDGES BETWEEN TWENTY SEVEN INCHES [27"] AND EIGHT INCHES [8"] ABOVE THE FINISHED FLOOR SHALL NOT PROTRUDE MORE THAN FOUR INCHES [4"] INTO WALKS, HALLS, CORRIDORS, PASSAGEWAYS, OR AISLES.

NOTE: GENERAL CONTRACTOR AND FIRE PROTECTION CONTRACTOR SHALL COORDINATE WITH OWNER AND LOCAL CODE OFFICIALS AND PROVIDE AND LOCATE SIGNAGE IDENTIFYING THE SPACE MAXIMUM OCCUPANT LOAD AS REQUIRED PER LOCAL CODE OFFICIALS REQUIREMENTS.

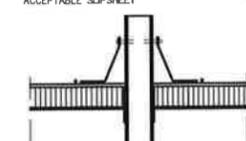
MAILER PROVIDED BY MECH. INSTALLED BY ROOFER. STRIP-IN WITH EPDM MEMB. FLASHING AND BONDING ADHESIVE. L SEE STRUCTURAL.



EXISTING ROOF STRUCTURE VF
EXISTING ROOF DECKING VF
EXISTING ROOF INSULATION VF
EXISTING ROOFING VF

RAIL
1"=1'-0"

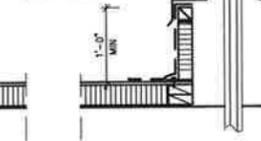
EPDM MEMBRANE BOOT SEALING WASTO SS DRAW BAND ULTRAGARD PVC SEALANT ACCEPTABLE SLIP SHEET



EXISTING ROOF STRUCTURE VF
EXISTING ROOF DECKING VF
EXISTING ROOF INSULATION VF
EXISTING ROOFING VF

STACK
1"=1'-0"

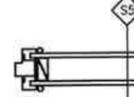
INSULATED PIPE, SS STRAP, ROOF CURB WITH CAP INSULATION AND NEOPRENE BOOTS PROVIDED BY MECH. INSTALLED BY ROOFER. STRIP IN PER ROOFING SYSTEM MANUF.



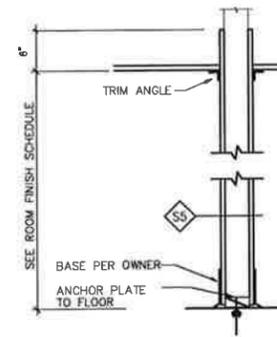
EXISTING ROOF STRUCTURE VF
EXISTING ROOF DECKING VF
EXISTING ROOF INSULATION VF
EXISTING ROOFING VF

PIPE CURB
1"=1'-0"

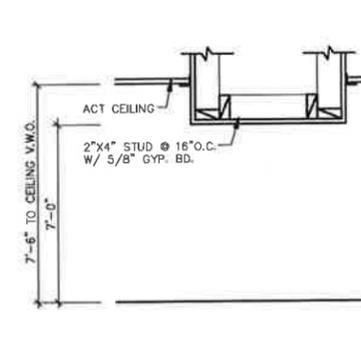
2"x4" WOOD STUDS @ 16" O.C.
5/8" GYP. BD EA FACE
W/BDWE REINFORCEMENT
AND STUD ANCHOR BY WH



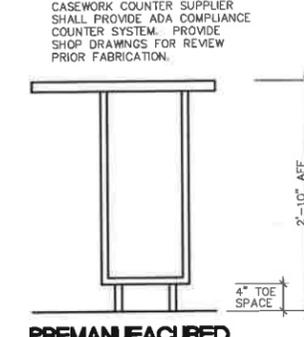
H.M. FRAME
1"=1'-0"



PARTITION
SCALE: 1" = 1'-0"



SOFFIT
1"=1'-0"



PREMANUFACTURED COUNTER SYSTEM
SCALE: 1" = 1'-0"

CASEWORK COUNTER SUPPLIER SHALL PROVIDE ADA COMPLIANCE COUNTER SYSTEM. PROVIDE SHOP DRAWINGS FOR REVIEW PRIOR FABRICATION.

ROOM FINISH SCHEDULE

NO.	ROOM	FLOOR		BASE				WALLS								CLNG	HT	REMARKS
		MATERIAL	FINISH	N	E	S	W	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH			
101	SEATING	EXIST	TILE	TILE	TILE	TILE	TILE	EXIST/GB	P	GB	P	EXIST/GB	P	EXIST/GB	P	ACT-1	7'-8"	4" HIGH TILE BASE
102	SERVICE	EXIST	TILE	TILE	TILE	TILE	TILE	EXIST/GB	P	GB	P	EXIST/GB	P	EXIST/GB	P	ACT-2	7'-8"	4" HIGH TILE BASE
103	GAMING	EXIST	TILE	TILE	TILE	TILE	TILE	GB	P	GB	P	EXIST/GB	P	GB	P	ACT-1	7'-8"	4" HIGH TILE BASE
104	BACKROOM	EXIST	TILE	TILE	TILE	TILE	TILE	EXIST/GB	P	EXIST/GB	P/FRP	GB	FRP	GB	P	ACT-2	7'-8"	4" HIGH TILE BASE
105	UTILITY	EXIST	TILE	TILE	TILE	TILE	TILE	EXIST/GB	P	EXIST/GB	P	EXIST/GB	P	EXIST/GB	P	ACT-2	7'-8"	4" HIGH TILE BASE
106	HALL	EXIST	TILE	TILE	TILE	TILE	TILE	GB	P	EXIST/GB	P	EXIST/GB	P	GB	P	ACT-1	7'-8"	4" HIGH TILE BASE
107	EXISTING TOILET	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	
108	EXISTING TOILET	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	

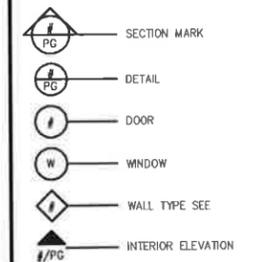
DOORS + FRAMES

REF #	LOCATION	DIMENSIONS		DOOR TYPE	DOOR CONST	DOORS			FRAME			HDWR SET	REMARKS	
		WIDTH	HEIGHT			FINISH	DIAG #	THICK	FRAME CONST	JAMB	HEAD			THRESHOLD
1	103	104	3'-0"	7'-0"	M	HM	P	M	1/3/4	HM	4/A2.1	4/A2.1	A	SEE NOTE #1

NOTE #1 GENERAL CONTRACTOR SHALL COORDINATE WITH SUB CONTRACTOR AND PROVIDER THAT ALL DOOR HARDWARE CAN BE OPERATED BY A SINGLE HAND WITH OUT MEANS OF TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST. SEE SPECS FOR HARDWARE TYPE. THUMB TURN DEADBOLTS ARE PROHIBITED, LEVER OR PADDLE DEADBOLT RELEASES ARE ACCEPTABLE.

NOTE #2 ADA SIGN @ EXTERIOR SIDE, MOUNTED 9" TO CENTERLINE FROM OPEN SIDE OF DOOR & 60" TO CENTERLINE FROM FINISHED FLOOR

DESIGNATIONS



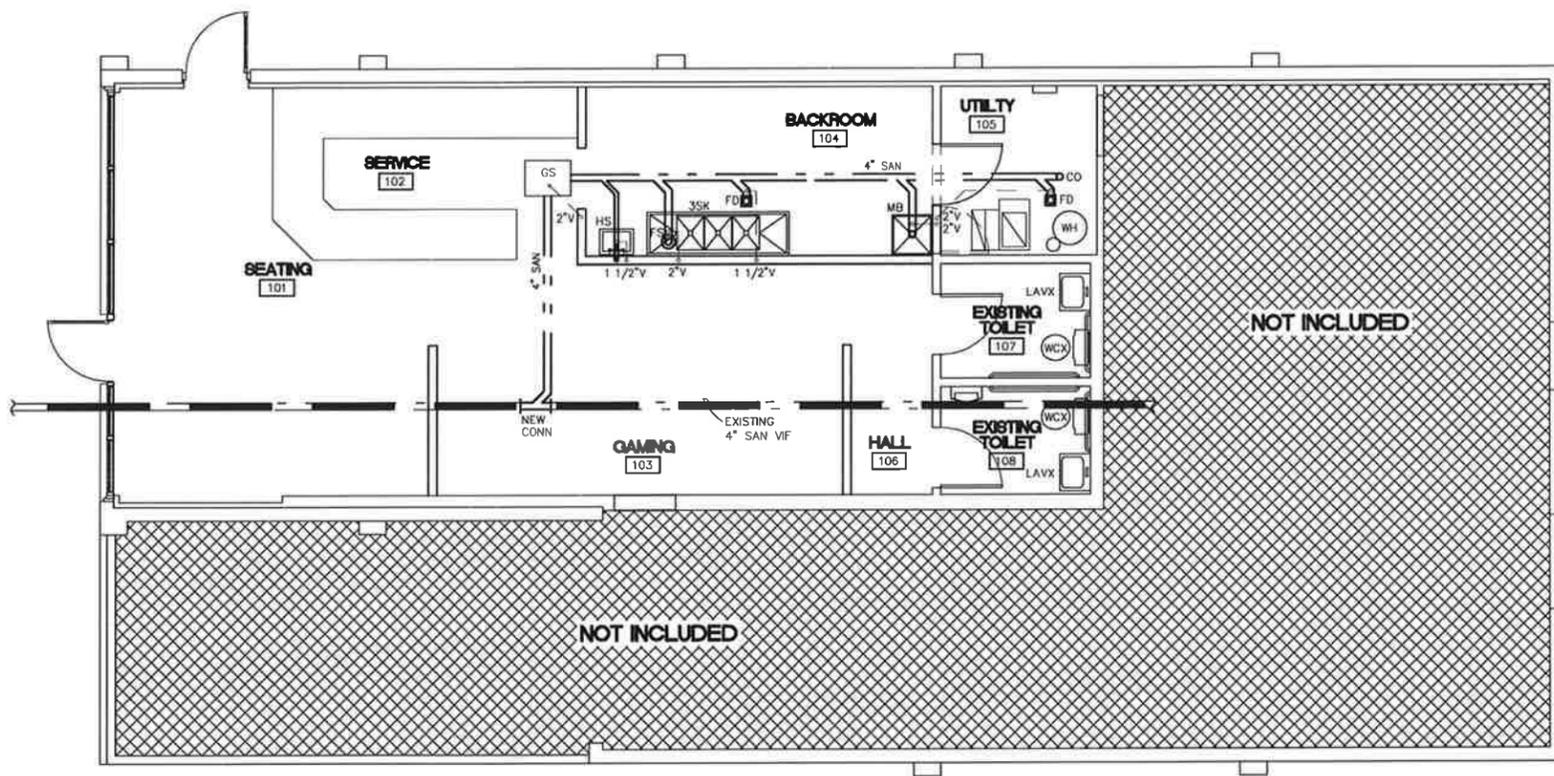
ABBREVIATIONS

AL	ALUMINUM
ACT-1	2X2 TEGULAR ACOUST TILE
ACT-2	2X4 FISSURED ACOUST TILE
B/DECK	BOTTOM OF DECK
C	CONCRETE (CONC)
C.B.	CONCRETE BLOCK
CJ	CONTROL JOINT
CMU	CONCRETE MASONRY UNIT
CO	CASED OPENING
EL	ELEVATION
EP	EPOXY
FD	FLOOR DRAIN
FRP	FIBERGLASS REINFORCED PLASTIC
GL	GLASS
GB	GYPSTUM BOARD
GBX	FIRE RESIST. GYPSTUM BOARD
H	HARDENER
HM	HOLLOW METAL
HP	HIGH POINT
INSUL	INSULATION
MAS	MASONRY
MTL	METAL
OH	OPEN HUB DRAIN
P	PAINT-2 COATS SEMI GLOSS
PC	PRECAST
PL	PLASTIC
PVC	POLYVINYL CHLORIDE
PF	PREFINISHED
S	SEALED
SF	STOREFRONT
SS	STAINLESS STEEL
STL	STEEL
T/DWB	TOP OF BAR JOIST
VB	VAPOR BARRIER
WD	WOOD
#	VERIFY
#	VERIFY W/OWNER
#	VERIFY W/MANUFACTURER

ISSUED FOR CONSTRUCTION:
ISSUED FOR PERMIT RESPONSE:
ISSUED FOR BID: 02-25-2016
ISSUED FOR PERMIT: 02-25-2016

JOB# 16B4
INTERIOR ALTERATIONS
EMMY'S CAFE AND GAMING
67 SOUTH BROADWAY STREET
COAL CITY, ILLINOIS 60416

arsa associates
ALAN R. SCHNEIDER ARCHITECTS P.C.
1411 WEST PETERSON AVENUE, SUITE 203
PARK RIDGE, ILLINOIS 60068
TEL: 847-698-4438 FAX: 847-698-9889
ALAN R. SCHNEIDER ARCHITECTS P.C. 2016



ALTERATIONS PLUMBING PLAN
SCALE: 1/4" = 1'-0"



GENERAL CONTRACTOR SHALL COORDINATE WITH PLUMBING CONTRACTOR AND PRESSURE TEST DRAINAGE AND VENTING SYSTEMS WITH WATER AND AIR AND PROVIDE TEST RESULTS TO LOCAL OFFICIALS PRIOR TO CONCEALMENT.

ALL WATER PIPE BELOW GRADE SHALL BE TYPE 'K' HARD DRAWN COPPER. ALL WATER PIPE ABOVE GRADE SHALL BE TYPE 'L' HARD DRAWN COPPER.

GENERAL PLUMBING NOTES

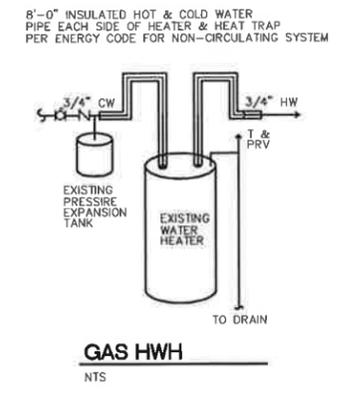
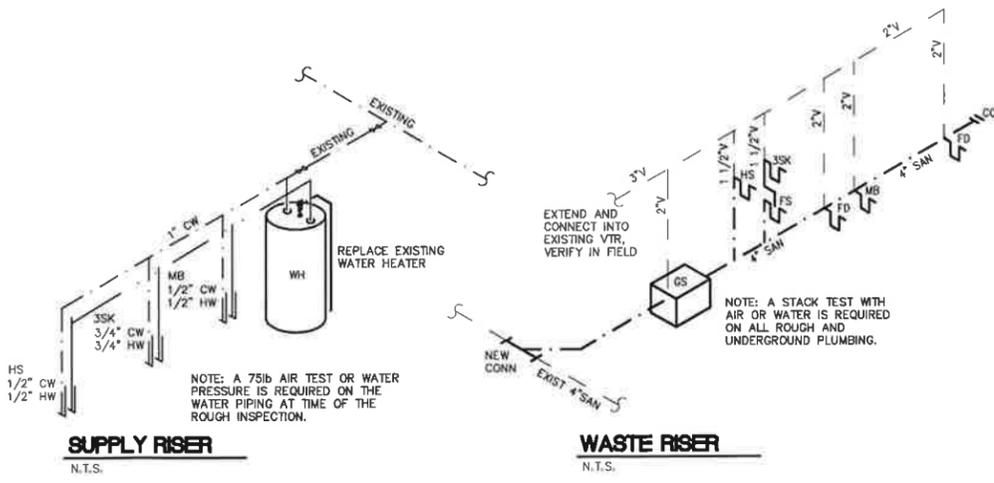
- GENERAL**
- IT IS THE PURPOSE AND INTENT OF THE SPECIFICATION, NOTES, AND DRAWINGS, THAT THE CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIAL NECESSARY TO PROVIDE A COMPLETE INSTALLATION OF PLUMBING SERVICES AS INDICATED ON THE PLANS AND AS HEREAFTER SPECIFIED COMPLETE IN MATERIALS AND FITTINGS AS MAY BE REQUIRED TO MAKE THE WORK COMPLETE FOR THE PURPOSE INTENDED.
 - THE DRAWINGS PERTAINING TO THE INSTALLATION GENERALLY INDICATE THE LOCATION OF EQUIPMENT AND OTHER DETAILS NECESSARY TO THE COMPLETE INSTALLATION. BIDDERS SHALL ACQUAINT THEMSELVES WITH THE WORKING CONDITIONS AND MATERIALS REQUIRED TO ENTIRELY COMPLETE THE WORK READY FOR USE.
 - ANY CHANGES IN THE LOCATION OF THE EQUIPMENT, ETC., FROM THOSE SHOWN ON THE DRAWINGS SHALL BE MADE WITHOUT CHARGE IF SO DIRECTED BY THE ARCHITECT/OWNER BEFORE INSTALLATION.
 - ALL PLUMBING WORK SHALL BE PERFORMED IN A WORKABLE MANNER BY A FULLY LICENSED PLUMBER AND IN FULL ACCORDANCE WITH LOCAL, STATE, AND NATIONAL CODES AND REQUIREMENTS.
 - THIS CONTRACTOR SHALL OBTAIN AND PAY FOR ALL LICENSES, PERMITS AND INSPECTIONS FOR ALL WORK COVERED BY THE CONTRACT. ALL CERTIFICATES OF INSPECTION SHALL BE DELIVERED TO THE OWNER.
 - ALL CUTTING AND PATCHING WHICH MUST BE DONE, IN ORDER SO THAT THE PLUMBING WORK MAY BE PROPERLY INSTALLED, SHALL BE DONE BY APPROPRIATE TRADESMEN. ALL DISTURBED CONSTRUCTION, SURFACES OR FINISHES MUST BE REPLACED OR REPAIRED TO THE ARCHITECT'S SATISFACTION AT THIS CONTRACTOR'S EXPENSE UNDER THE CONDITION THAT STRUCTURAL WORK BE CUT EXCEPT UPON APPROVAL OF THE ARCHITECT.
 - PLUMBING CONTRACTOR SHALL FIELD VISIT SITE PRIOR TO BID AND VERIFY ALL EXISTING CONDITIONS AND PLUMBING SYSTEMS TO DETERMINE EXTENT OF WORK. ANY ITEMS NOT SPECIFICALLY INDICATED ON DRAWINGS OR IN SPECIFICATIONS THAT ARE IN CONFLICT WITH CONTRACT WORK SHALL BE BROUGHT TO THE ATTENTION OF ARCHITECT/ENGINEER PRIOR TO BID FOR A DECISION. NO EXTRAS WILL BE ALLOWED FOR LACK OF KNOWLEDGE OF EXISTING CONDITIONS.
 - PLUMBING CONTRACTOR SHALL COORDINATE ALL WORK WITH THE OTHER TRADES AND VERIFY DIMENSIONS AND LOCATIONS FROM THE ARCHITECTURAL DRAWINGS, FIELD MEASUREMENTS AND SUPPLIER SHOP DRAWINGS.
 - LAYOUT IS DIAGNOSTIC AND CONTRACTOR SHALL INSTALL EQUIPMENT TO MEET THE FIELD CONDITIONS.
 - THIS CONTRACTOR IS RESPONSIBLE FOR THE CONDITION AND PROTECTION FROM DAMAGE OF HIS EQUIPMENT AND SYSTEMS. CONTRACTOR SHALL REPLACE ANY DAMAGED EQUIPMENT AT HIS EXPENSE PRIOR TO FINAL ACCEPTANCE REGARDLESS OF WHO CAUSED THE DAMAGE.
 - CONTRACTOR SHALL REMOVE ALL DEBRIS FROM JOB SITE AND LEAVE ALL WORK AND EQUIPMENT IN CLEAN WORKING CONDITION.
 - THE PLUMBING CONTRACTOR SHALL NOTE THAT THE ELECTRICAL DESIGN AND DRAWINGS ARE BASED ON THE EQUIPMENT SCHEDULED AND SHOWN ON THESE DRAWINGS. IF THE PLUMBING CONTRACTOR SHOULD SUBMIT FOR REVIEW EQUIPMENT REQUIRING CHANGES TO THE ELECTRICAL DESIGN FOR WHICH THE ELECTRICAL CONTRACTOR WILL REQUEST AN EXTRA, THIS EXTRA WILL BE PAID BY THE PLUMBING CONTRACTOR.
 - ALL EQUIPMENT AND INSTALLATION SHALL COMPLY WITH THE CURRENT CODE REQUIREMENTS.
 - CONTRACTOR SHALL THOROUGHLY SEAL WALL AND FLOOR PENETRATIONS WITH THE APPROPRIATE MATERIAL TO MEET THE FIRE RATING.
 - SUBMIT SHOP DRAWINGS ON ALL EQUIPMENT AND MATERIALS AS PER GENERAL CONDITIONS.
 - PREPARE AND PROVIDE OWNER WITH A SET OF 1/4" PER FOOT AS-BUILT DRAWINGS.
 - FURNISH TO OWNER A SET OF OPERATION AND MAINTENANCE MANUALS FOR ALL EQUIPMENT.
 - PERFORM ALL EXCAVATING AND BACK FILLING REQUIRED FOR PLUMBING WORK.
- WARRANTY/GUARANTEE**
- PLUMBING CONTRACTOR SHALL GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE.
 - ALL WARRANTIES FOR BUT NOT LIMITED TO FIXTURES, PIPING AND FAUCETS ARE TO BE HONORED BY CONTRACTOR.
- TESTING**
- ALL BACKFLOW DEVICES ARE TO BE TESTED AND CERTIFIED PRIOR TO FINAL INSPECTION OR OCCUPANCY.
 - A BACKFLOW TESTING OR ANY REQUIRED REPAIRS ON BACKFLOW DEVICES SHALL BE CONDUCTED BY A STATE CERTIFIED INSPECTOR.
 - TEST AND SANITIZE ALL PIPING AND EQUIPMENT AS REQUIRED BY THE STATE AND LOCAL AUTHORITY AND GET THEIR WRITTEN APPROVAL PRIOR TO CONCEALMENT.
- PLUMBING FIXTURES**
- FURNISH AND INSTALL PLUMBING FIXTURES SPECIFIED IN THESE DOCUMENTS.
 - INSTALL PLUMBING FIXTURES FURNISHED BY OTHERS.
 - ROUGH-IN ALL REQUIRED PIPING AND MAKE FINAL CONNECTION TO ALL FIXTURES. PROVIDE ALL NECESSARY ITEMS REQUIRED TO MAKE CONNECTIONS INCLUDING TRAPS, SUPPLIES, STOPS, ETC.
 - ALL EXPOSED TRIM, PIPE, STOPS, SUPPLIES, TRAPS, ETC., SHALL BE BRASS, POLISHED CHROME PLATE.
 - INSTALL FIXTURES PER MANUFACTURERS INSTALLATION INSTRUCTIONS AND PER APPLICABLE CODES.
 - ALL HANDICAPPED ACCESSIBLE FIXTURES SHALL BE INSTALLED IN COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT.
 - FIXTURES SHALL BE INSTALLED LEVEL AND PLUMB AND SECURELY FASTENED TO WALLS, FLOORS, COUNTERTOPS OR CARRIERS.
 - ALL FIXTURES WITH HOSE CONNECTIONS SHALL BE EQUIPPED WITH A CODE APPROVED ANTI-SIPHON DEVICE.
 - CAULK BETWEEN ALL FIXTURES AND WALLS WITH WHITE SILICON SEALANT, DOW NO. 786 OR EQUAL.
 - FURNISH AND INSTALL ALL REQUIRED POWER TRANSFORMERS AND NON-POWER WIRING FOR ELECTRIC FAUCETS AND FLUSH DEVICES.
- INSULATION**
- TYPE A: FIBERGLASS WITH VAPOR BARRIER JACKET, JOHNS MANVILLE MICRO-LOK AP OR EQ.
 - TYPE B: ELASTOMERIC FOAM WITH VAPOR BARRIER JACKET, ARMSTRONG AP ARMAFLEX OR EQ.
- | SERVICE | TYPE | INSULATION THICKNESS |
|------------------------|--------|----------------------|
| COLD WATER UP TO 2" | A OR B | 1/2" |
| HOT WATER UP TO 1" | A OR B | 1/2" |
| HOT WATER 1-1/4" TO 2" | A | 1" |
- INSULATE ALL FITTINGS AND VALVES FOR THE ABOVE LISTED SERVICES.
 - ALL INSULATION MATERIALS, JACKETS, ADHESIVES AND SEALERS SHALL HAVE A FLAME SPREAD OF NOT MORE THAN 25 AND A SMOKE DEVELOPED RATING OF NOT MORE THAN 450 WHEN TESTED IN ACCORDANCE WITH ASTM E84, NFPA 255 AND UL 723.
 - PROVIDE A.B.A. APPROVED INSULATING WRAP SYSTEM AT HC DESIGNATED FIXTURES.

PLUMBING EQUIPMENT SCHEDULE

FD	"KUSEL" "KE 100" STAINLESS STEEL FLOOR DRAINS WITH BASKETS, INTEGRAL TRAP + CO
FS	"KUSEL" 12x12 STAINLESS STEEL FLOOR SINK W/ BASKET AND GRATE.
GS	"ROCKFORD", "G-2824-L", GREASE SEPARATOR, 40 GPM, 272 LBS CAPACITY
HS	"EAGLE" #HSA-10-F, WALL MOUNTED HAND SINK W/ 7 1/2" SPLASH, GOOSENECK BLADE HANDLED FAUCET AND BASKET DRAIN.
SK3	"EAGLE" #FN204B-3-18-14/3, THREE COMPARTMENT [20"x16"x14"D] W/ 18" LEFT AND RIGHT DRAINBOARDS AND 9 1/2" SPLASH. TWO [2] "T&S" BRASS #B-0267 FAUCETS W/ BLADE HANDLES. THREE [3] TWIST HANDLE LEVER DRAINS.
MB	"FLORESTONE" "MSR-2424 MOLDDED MOP RECEPTOR WITH WEDGE-LOK SEAL. PROVIDE #MR-370 8" HOSE, 5'-0" LONG WITH CLAMP. #MR-371 SPEAKMAN FAUCET WITH VACUUM BREAKER, DOUBLE STOPS AND BUCKET HOOK WITH BRACE. #MR-372 MOP HANGER. #MR-375 CHROME FLAT STRAINER.
WH	"RHEEM RUDD" "G50-65N", 65,000 INPUT NATURAL, 48 GALLON NATURAL GAS WATER HEATER

PLUMBING FIXTURES LEGEND

TAG	FIXTURE	QUANTITIES	WASTE	VENT	SUPPLY CW	SUPPLY HW	SUPPLY FIXTURE UNITS	TOTAL FIXTURE UNITS BASE
WCX	EXISTING WATER CLOSET	2	4"	3"	1/2"	5	5	10
LAVX	EXISTING LAVATORY	2	1-1/2"	1-1/2"	1/2"	1.5	1.5	4
MB	NEW MOP BASIN	1	2"	1-1/2"	1/2"	2.25	2.25	3
SK3	NEW THREE BASIN SOLLARY SINK	1	1-1/2"	1-1/2"	3/4"	3	3	4
HS	NEW HAND SINK	1	1-1/2"	1-1/2"	1/2"	1.5	1.5	2
TOTAL SUPPLY WATER FIXTURE UNITS							23 WSFU = 15.8 GPM = 1" WATER SUPPLY	23



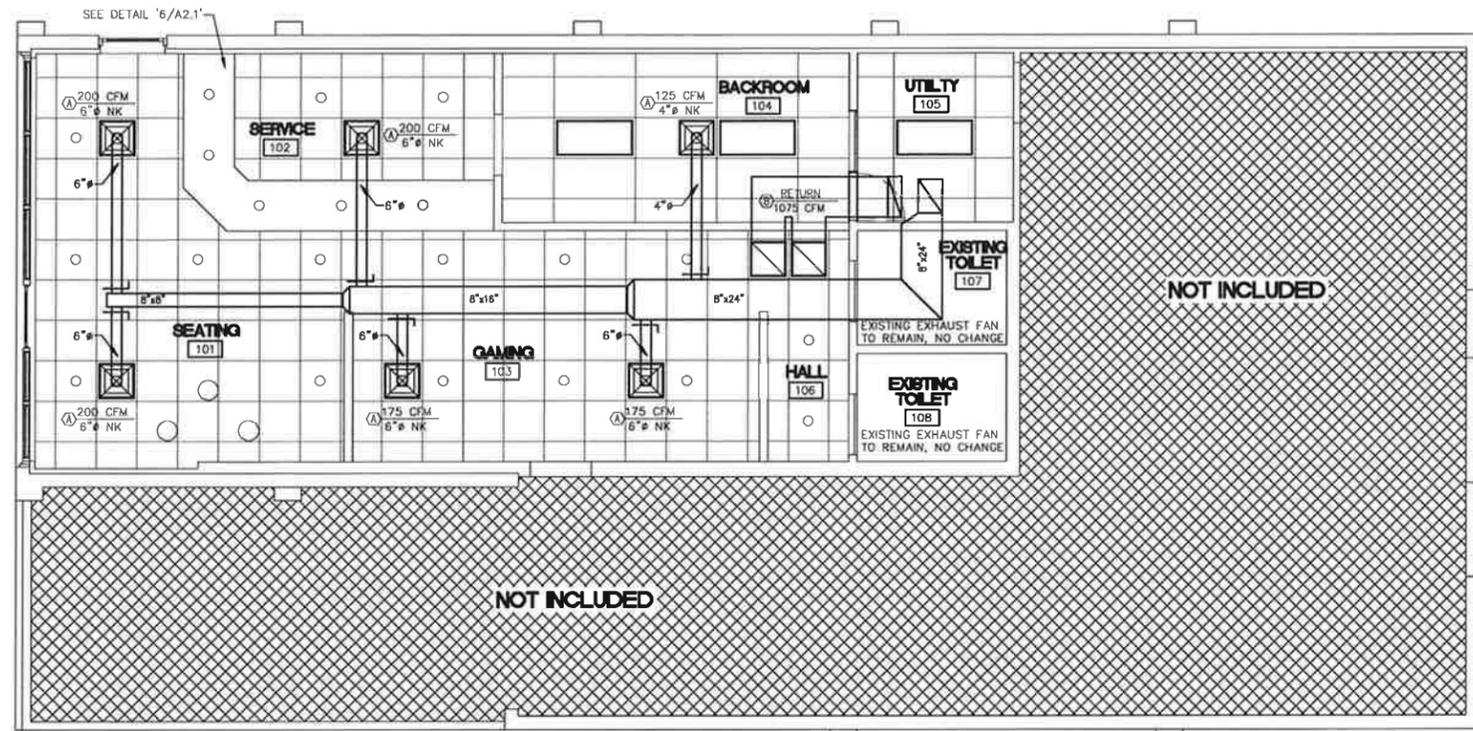
ABBREVIATION LIST

A.D.A.	AMERICANS WITH DISABILITIES ACT	OHD	OPEN HUB DRAIN
CO	CLEANOUT	CW	POTABLE COLD WATER
DN	DOWN	PRV	PRESSURE REDUCING VALVE
DWGS	DRAWINGS	PSV	PRESSURE SAFETY VALVE
EWC	ELECTRIC WATER COOLER	P.C.	PLUMBING CONTRACTOR
FCO	FLOOR CLEANOUT	S	SINK OR SANITARY
FD	FLOOR DRAIN	SC	SILL COCK (WALL HYDRANT)
FP	FIRE PROTECTION	ST	STORM
G	NATURAL GAS	U.N.	UNLESS NOTED
GC	GENERAL CONTRACTOR	UR	URINAL
GCO	GRADE (GROUND) CLEANOUT	VF	VERIFY IN FIELD
LV	LAVATORY	V/S	VENT/SANITARY
M.H.	MAN HOLE	VTR	VENT TO ROOF
(N.L.C.)	NOT IN CONTRACT	WC	WATER CLOSET
NTS	NOT TO SCALE	WCO	WALL CLEANOUT

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ALTERATIONS HVAC PLAN
SCALE: 1/4" = 1'-0"

ABBREVIATIONS LIST

ACC	ACCESS DOOR
AD	AUTOMATIC DAMPER
AFF	ABOVE FINISHED FLOOR
BI	BLACK IRON
BO	BLANK OFF
BTU	BRITISH THERMAL UNIT
CFM	CUBIC FEET PER MINUTE
EDH	ELECTRIC DUCT HEATER
FA	FRESH AIR
FLO	FIRE LOUVER DAMPER
FS	FLOW SWITCH
G	GAS
GC	GENERAL CONTRACTOR
GPM	GALLONS PER MINUTE
GR	GRILLE
HP	HORSE POWER
MBH	1000 BTU PER HOUR
MD	MANUAL DAMPER
NK	NECK
OA	OUTSIDE AIR
OC	ON CENTER
PP	PIPE PORTAL
RA	RETURN AIR
REG	REGISTER
RS	ROOM TEMPERATURE SENSOR
SA	SUPPLY AIR
SP	STATIC PRESSURE
TC	TEMPERATURE CONTROL
UNO	UNLESS OTHERWISE NOTED
WMS	WIRE MESH SCREEN

GENERAL HVAC NOTES

- IT IS THE PURPOSE AND INTENT OF THIS DOCUMENT THAT THE CONTRACTOR SHALL FURNISH AND INSTALL ALL LABOR AND MATERIALS NECESSARY TO PROVIDE A COMPLETE INSTALLATION OF MECHANICAL SERVICES AS INDICATED ON THE DRAWINGS AND AS HEREINAFTER SPECIFIED COMPLETE IN ALL DETAILS INCLUDING ALL PARTS AUXILIARY TO THE WORK AND SUCH MATERIALS AND FITTINGS AS MAY BE REQUIRED TO MAKE THE WORK COMPLETE FOR THE PURPOSE INTENDED.
- THE DRAWINGS PERTAINING TO THIS INSTALLATION INDICATE GENERALLY THE LOCATION OF ALL EQUIPMENT WITH DETAILS NECESSARY FOR THE COMPLETE INSTALLATION OF THE WORK. BIDDERS SHALL ACQUAINT THEMSELVES WITH THE WORKING CONDITIONS AND REQUIREMENTS OF THE ENTIRE PROJECT, AS ANY CONTRACTS FOR THIS WORK WILL BE BASED UPON FURNISHING ALL LABOR AND MATERIALS REQUIRED TO ENTIRELY COMPLETE WORK READY FOR USE.
- ANY MINOR CHANGES IN LOCATION OF DUCTWORK, AIR OUTLETS AND EQUIPMENT FROM THOSE SHOWN ON THE DRAWINGS SHALL BE MADE WITHOUT CHARGE IF SO DIRECT BY THE ENGINEER BEFORE INSTALLATION.
- THIS CONTRACTOR SHALL CONFER WITH THE OTHER CONTRACTORS REGARDING THE LOCATION AND SIZES OF PIPING AND EQUIPMENT IN ORDER THAT THERE MAY BE NO INTERFERENCES BETWEEN INSTALLATIONS OR THE PROGRESS OF THE WORK FOR ANY CONTRACTOR ON THE BUILDING.
- ALL WORK SHALL COMPLY WITH ALL APPLICABLE CODES.
- THIS BUILDING HAS BEEN DESIGN AND SHALL BE INSTALLED FOR THE EFFICIENT UTILIZATION OF ENERGY IN ACCORDANCE WITH THE INTERNATIONAL ENERGY CONSERVATION CODE.
- LAYOUT IS DIAGRAMMATIC AND CONTRACTOR SHALL INSTALL EQUIPMENT AND DUCTWORK TO MEET FIELD CONDITIONS.
- REMOVE ALL DEBRIS FROM JOB SITE AND LEAVE ALL MECHANICAL EQUIPMENT CLEAN.
- INSTRUCT OWNER IN THE PROPER OPERATION, MAINTENANCE AND SERVICING OF ALL SYSTEMS. PROVIDE IN A BOUND FORM THREE (3) SETS OF OPERATIONS, MAINTENANCE AND INSTRUCTION MANUALS, INCLUDING INFORMATION ON SPARE PARTS, LUBRICATION SCHEDULE, WIRING DIAGRAMS, ETC., FOR ALL FIXTURES AND EQUIPMENT.
- THE CONTRACTOR SHALL PROVIDE MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR ALL EQUIPMENT ON SITE FOR REVIEW BY INSPECTORS. ALL EQUIPMENT MUST BEAR THE LABEL OF AN APPROVED INSPECTION AGENCY. THE CONTRACTOR SHALL SUBMIT MANUFACTURER'S INSTALLATION INSTRUCTIONS TO THE LOCAL AUTHORITIES AS REQUIRED.
- CONTRACTOR SHALL GUARANTEE ALL MATERIALS OR REPAIR, WITHOUT COST TO THE OWNER, ANY SUCH DEFECTS WITHIN ONE (1) YEAR TO DATE, AFTER FINAL ACCEPTANCE OF THE BUILDING BY THE OWNER AND ENGINEER. HE SHALL ALSO GUARANTEE THAT THE WORKMANSHIP IS OF HIGH QUALITY AND THAT ALL EQUIPMENT FURNISHED UNDER THIS CONTRACT FULFILLS THE REQUIREMENTS OF THE SPECIFICATIONS.
- HVAC EQUIPMENT:
 - PROVIDE ALL HVAC EQUIPMENT OF THE TYPE, QUALITY, FINISH AND MANUFACTURER SHOWN ON THE DRAWINGS.
 - UNITS SHALL BE TESTED, RATED AND CERTIFIED AS COMPLETE UNITS IN ACCORDANCE WITH A.R.L. FOR CAPACITIES AND AMCA FOR SOUND RATINGS AND BE U.L. LISTED.
 - VERIFICATION THAT ALL EQUIPMENT HAS BEEN TESTED TO THE APPROPRIATE STANDARDS REFERENCED IN THE CODES MUST BE SUBMITTED.
- TESTING AND BALANCING SHALL BE PERFORMED BY A CERTIFIED TEST AND BALANCE COMPANY OTHER THAN THE INSTALLING CONTRACTOR:
 - AIR SIDE:
 - THE CONTRACTOR SHALL REGULATE AND ADJUST ALL DEFLECTORS AND DAMPERS FOR THE REQUIRED AIR QUANTITIES AT THE RESPECTIVE OPENINGS.
 - THE CONTRACTOR SHALL FURNISH ALL INSTRUMENTS, TESTING EQUIPMENT AND QUALIFIED PERSONNEL THAT MAY BE REQUIRED FOR THE TESTS. INSTRUMENTS TO BE RECENTLY TESTED AND CALIBRATED.
 - THE CONTRACTOR SHALL ADJUST ALL MOTOR SHEAVES AND BELTS AS REQUIRED TO BALANCE SYSTEMS.
 - THE CONTRACTOR SHALL SUBMIT TO THE OWNER TWO (2) COPIES OF HIS CERTIFIED TEST READINGS WITH THE FOLLOWING INFORMATION:
 - THE QUANTITIES OF AIR AT EACH INLET AND/OR OUTLET, FOR ALL RETURN AND SUPPLY SYSTEMS.
 - STATIC RESISTANCE, IN INCHES OF WATER, AT THE INTAKE AND DISCHARGE FOR EACH SYSTEM.
 - THE RPM OF EACH FAN UNIT.
 - THE VOLUME OF AIR HANDLED BY EACH FAN OR UNIT.
 - THE CONTRACTOR SHALL REPEAT THE TEST AND BALANCE PROCEDURE UNTIL ALL AIRFLOWS ARE $\pm 10\%$ OF THE DESIGN AIRFLOWS.
 - IT IS INTENDED THAT MATERIALS OR PRODUCTS SPECIFIED BY THE NAME OF THE MANUFACTURER OR THE BRAND OR TRADE NAME OR THE CATALOG REFERENCE, SHALL BE THE BASIS OF THE BID AND FURNISHED UNDER THE CONTRACT UNLESS CHANGED BY MUTUAL WRITTEN AGREEMENT.
 - ALL OF THE MATERIALS AND EQUIPMENT REQUIRED FOR THE PERFORMANCE OF THE WORK SHALL BE NEW AND THE BEST OF THEIR RESPECTIVE KINDS AND OF UNIFORM PATTERN THROUGHOUT THE WORK.
 - REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS AND DETAILS.
 - FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS AND RECOMMENDATIONS.
 - EQUIPMENT SPECIFICATIONS AND INSTALLATION INSTRUCTIONS SHALL BE AVAILABLE ON SITE AT ALL TIMES.
 - OUTDOOR AIR INTAKES SHALL BE LOCATED A MINIMUM OF 10 FEET FROM ANY VENTS, EXHAUST, FLUES, PLUMBING VENTS OR ANY OTHER NOXIOUS FUMES.
 - ALL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES SHALL BE FIRE STOPPED PER THE BUILDING CODE.
 - ALL EQUIPMENT SUPPORT STEEL SHALL BE STANDARD STRUCTURAL SHAPES. ALL NEW STEEL REQUIRED FOR THIS WORK SHALL BE PAINTED WITH STANDARD INDUSTRIAL GRAY PRIMER. CONTRACTOR SHALL DESIGN, FABRICATE AND INSTALL SUPPORT STEEL AS REQUIRED BY FIELD CONDITIONS. CONTRACTORS SHALL FURNISH AND INSTALL ADDITIONAL SUPPORTS AS REQUIRED BY EQUIPMENT MANUFACTURER'S RECOMMENDATIONS. ALL PIPING AND DUCTWORK SHALL BE SUPPORTED AS REQUIRED BY ALL APPLICABLE CODES.
 - CONTRACTOR SHALL FURNISH AND INSTALL ALL SUPPORTS AND HANGERS NECESSARY TO PROPERLY SUPPORT EQUIPMENT, PIPING AND DUCTWORK PER CODE REQUIREMENTS.
 - CONTRACTOR SHALL FURNISH AND INSTALL ALL STARTERS, CONTROLS, RELAYS, DEVICES, ETC. FOR A COMPLETELY OPERATIONAL SYSTEM.
 - PROVIDE CONDENSATE DRAIN FOR ROOF TOP UNITS. TRAP AND SIZE PER MANUFACTURER'S RECOMMENDATIONS. ROUTE TO DRAIN.
 - ROOFTOP EQUIPMENT SHALL NOT BE LOCATED WITHIN 10 FEET OF THE ROOF EDGE.
 - DUCTWORK SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH SMACNA, LATEST EDITION, AS SHOWN ON THE DRAWINGS AND AS REQUIRED BY FIELD CONDITIONS.
 - ALL DUCTS SHALL BE SEALED IN ACCORDANCE WITH THE INTERNATIONAL ENERGY CONSERVATION CODE.
 - VERIFY ALL EXISTING FIELD CONDITIONS. FURNISH AND INSTALL ALL NECESSARY DUCTWORK OFFSETS AND TRANSITIONS. WHEN ALTERING A DUCT SIZE FROM THE DESIGN DRAWINGS MAINTAIN THE SAME CROSS SECTIONAL AREA.
 - PROVIDE LONG RADIUS ELBOWS OR SQUARE ELBOW WITH TURNING VANES FOR ALL DUCTWORK UNLESS OTHERWISE SPECIFIED ON THE DRAWING.
 - ALL BRANCH DUCTWORK TO HAVE A MANUAL VALVE DAMPER AND LOW PRESSURE LOSS TAKEOFFS FOR BRANCH DUCTWORK.
 - MAXIMUM FLEXIBLE DUCT LENGTH OF 5'-0". SUSPEND FLEXIBLE DUCTWORK SO THAT THERE ARE NO KINKS OR SAGS. SEAL END CONNECTIONS.
 - ALL INSULATION, DUCT LININGS, INSULATION COVERINGS AND ACCESSORIES INCLUDING ADHESIVES SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 50.
 - ALL SUPPLY, RETURN AND OUTSIDE AIR DUCTWORK SHALL BE INSULATED WITH 1-1/2" THICK, MINIMUM 3/4 LB PER CU.FT. DENSITY MANVILLE R-SERIES MICROFILITE FIBERGLASS DUCT WRAP, WITH AN AVERAGE THERMAL CONDUCTIVITY NOT TO EXCEED 0.31 BTU-IN PER SQUARE FT PER DEG. F PER HOUR AT A MEAN TEMPERATURE OF 75 DEG. F. PROVIDE A REINFORCED ALUMINUM FOIL VAPOR SEAL JACKET.
 - SUPPLY AND RETURN DUCTWORK SHALL BE LINED WITH 1/2" LINER WITHIN 10 FEET OF ROOFTOP UNIT. DIMENSION SHOWN ON DRAWINGS ARE CLEAR INSIDE DIMENSIONS AND SHALL BE MAINTAINED.
 - COORDINATE ACTUAL LOCATIONS OF DIFFUSERS, REGISTERS, AND GRILLES WITH ARCHITECT'S REFLECTED CEILING PLAN TO AVOID CONFLICT WITH LIGHTS.
 - FURNISH AND INSTALL A SMOKE DETECTOR IN THE RETURN AIR DUCT UP STREAM OF THE OUTDOOR AIR MIXING. LOCATE AND INSTALL PER NFPA-90 REQUIREMENTS.

NOTE: MECHANICAL CONTRACTOR SHALL COMPLY WITH ALL LOCAL AND STATE ENERGY CODE REQUIREMENTS.

A. THE HVAC SYSTEM SHALL BE PROVIDED WITH AUTOMATIC CONTROLS, WHICH SETBACK THE HEAT TO FIFTY-FIVE DEGREES [55°] AND THE COOLING TO EIGHTY-FIVE DEGREES [85°]. HAVE A SEVEN [7] DAY CLOCK; HAVE A TWO [2] HOUR OCCUPANT OVERRIDE AND A TEN [10] HOUR BATTERY BACKUP.

B. SUPPLY AND RETURN DUCTWORK SHALL HAVE R-5 INSULATION IN UNCONDITIONED SPACES.

C. LONGITUDINAL SEAMS OF RIGID DUCTS AND TRAVERSE SEAMS ON ALL DUCTS SHALL BE SEALED WITH TAPES OR MASTICS IN ACCORDANCE WITH UL 181A OR UL 181B.

D. BOTH MECHANICAL FASTENERS AND SEALANTS SHALL BE USED TO CONNECT DUCTWORK TO THE AIR DISTRIBUTION EQUIPMENT.

E. OPERATION AND MAINTENANCE MANUALS FOR ALL EQUIPMENT SHALL BE PROVIDED TO THE BUILDING OWNER.

F. MECHANICAL CONTRACTOR SHALL PROVIDE AN AIR BALANCE REPORT PRIOR TO FINAL INSPECTION PER LOCAL CODE REQUIREMENTS.

HEATING AND VENTILATION SCHEDULE											
ALL AMBIENT ROOMS SHALL BE HEATED FROM -10 TO +70 DF. CALCULATION PER ASHRAE.											
TENANT NO.	TENANT SPACE	ROOM PURPOSE	ORDINANCE REQUIRED				PLAN REQUIRED			REMARKS	
			FLOOR AREA SQ. FT.	PEOPLE PER 1000 SQ. FT.	TOTAL PEOPLE	OAI CFM	EXHAUST CFM	SUPPLY CFM	EXHAUST CFM		OUTSIDE AIR CFM
101	SEATING	BAR/LOUNGE	241	100	24	43	---	400	44	44	
102	SERVICE	BAR/LOUNGE	131	100	13	23	---	200	22	22	
103	GAMING	BAR/LOUNGE/GAMBLING	228	100	23	40	---	350	40	40	
104	BACKROOM	STORAGE	142	---	---	---	---	125	---	---	
105	UTILITY	UTILITY	64	---	---	---	---	---	---	---	
106	HALL	CORRIDOR	46	---	---	---	---	---	---	---	
107	EXISTING TOILET	TOILET ROOM	42	---	---	---	---	50	---	---	EXISTING UNDERCUT DOOR
108	EXISTING TOILET	TOILET ROOM	39	---	---	---	---	50	---	---	EXISTING UNDERCUT DOOR

GAS-FIRED FURNACE SCHEDULE																
EQUIP. TAG	MODEL/SERIES NUMBER	TYPE	STANDARD AIR DELIVERY (CFM)	E.S.P. IN. W.C.	HEIGHT (IN.)	WIDTH (IN.)	DEPTH (IN.)	AIR ARRANGEMENT	HEATING RATING	BLOWER DRIVE	COMBUSTION FAN	FILTERS	POWER CONN.	BUILT-IN DISC	NOTES	
GF-1	INFINITY SERIES 24ANB736	UPFLOW	1075	0.15	35	17 1/2	30	BTTM TOP	60 58 DIRECT	11 VARIABLE	1 VARIABLE	1/2 1/50 3000 HIGH VELOCITY	24x25x1	YES	120/1/60 11.5	YES 1,2,3

NOTES: 1. INCLUDE HEATING/COOLING PROGRAMMABLE THERMOSTAT 2. PROVIDE MATCHING DX COOLING COIL 3. PROVIDE 3/4" CONDENSATE PIPE ROUTED TO FLOOR DRAIN

AIR COOLED CONDENSING UNIT SCHEDULE														
EQUIP. TAG	UNIT SERVED	MANUFACTURER	MODEL	TOTAL COOLING (MBH)	COMPRESSORS	FAN	DIMENSIONS	HEIGHT (LBS)	ELECTRICAL DATA	NOTES				
CU-1	GF-1 DX COIL	CARRIER	INFINITY 24ANB736	36	1	PURON PROPELLER	95 1 22 1/12 800 36 3/8 31 3/16 31 3/16	236	14.5 1 120	1,2				

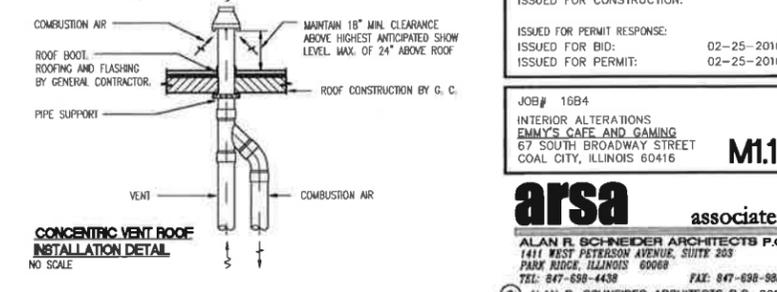
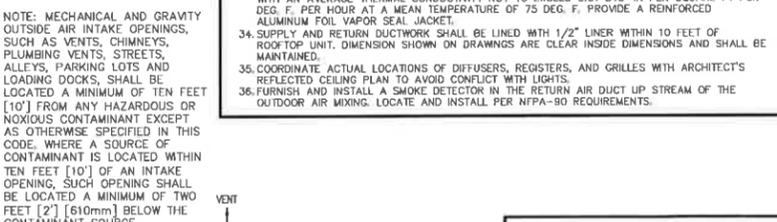
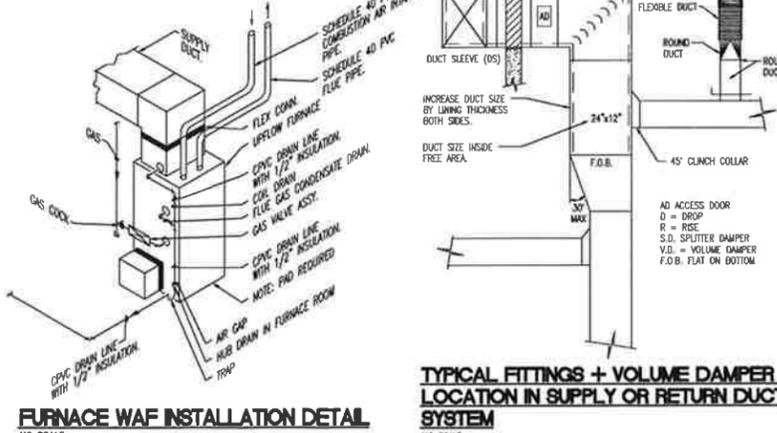
NOTES: 1. INCLUDE FAN DELAY RELAY KIT, EVAPORATOR DEFROST CONTROL, ISOLATORS, LOW AMBIENT CONTROL 2. UNIT SHALL BE COMPATIBLE WITH ASSOCIATED "DX" COOLING COIL.

ENERGY RECOVERY VENTILATOR SCHEDULE																	
EQUIP. TAG	MODEL/SERIES NUMBER	TYPE	STANDARD AIR DELIVERY (CFM)	E.S.P. IN. W.C.	HEIGHT (IN.)	WIDTH (IN.)	DEPTH (IN.)	AIR ARRANGEMENT	NET SUPPLY AIR FLOW	GROSS AIR FLOW	FILTERS	SENSIBLE RECOVERY EFFICIENCY	APPARENT SENSIBLE EFFICIENCY	LATENT RECOVERY MOISTURE TRANSFER	POWER CONNECTION	BUILT-IN DISC	NOTES
ERV-1	ERVXSH100	HORIZONTAL	35-105	0.4	2 3/16	27 1/16	19 13/16	45	105 106 106	106 106 106	YES YES	63 71	0.48	115/1/60 104	1.0	YES	1,2,3,4,5,6,7

NOTES: 1. INTEGRATED AIRFLOW BALANCING POINTS 2. INTEGRATED FURNACE INTERLOCK 3. HIGH PRESSURE BLOWERS, ONBOARD CONTROL FOR CONTINUOUS HIGH/LOW VENTILATOR OPERATION 5. ENERGY SAVING DEFROST CYCLE 6. CROSS FLOW HEAT EXCHANGER 7. ENTHALPIC HEAT EXCHANGER CORE

GRILLE AND REGISTER SCHEDULE						
TAG	MANUFACTURER	MODEL	CFM	NECK SIZE	DAMPER	REMARKS
S1	PRICE	SDA	NOTED	NOTED	---	SUPPLY DIFFUSER, ADJUSTABLE 4-WAY BLOW, LAY-IN
R1	PRICE	530	NOTED	NOTED	---	RETURN GRILLE, LAY-IN

NOTE: HVAC CONTRACTOR SHALL LOCATE NEW POWER EXHAUST FURNACE AS INDICATED. EXTEND POWER EXHAUST TO EXTERIOR PER LOCAL CODE REQUIREMENTS, MAINTAIN 12" MINIMUM ABOVE SNOW LEVEL, 4'-0" FROM ALL WINDOWS, AND 10'-0" FROM PROPERTY LINE. PROVIDE FRESH AIR INTAKE PER MANUFACTURER'S REQUIREMENTS AND LOCATE PER LOCAL CODE REQUIREMENTS, AT UPPER LEVELS, PROVIDE WATER TIGHT PAN OF CORROSION RESISTANT MATERIAL INSTALLED BENEATH UNIT FOR OVERFLOW OF CONDENSATION DRAIN. PROVIDE 3/4" MINIMUM DRAINPIPE FROM PAN TO CONSPICUOUS LOCATION FOR OWNER MONITORING.



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