

COAL CITY VILLAGE BOARD MEETING

**WEDNESDAY
JUNE 22, 2022
7:00 P.M.**

AGENDA

1. Call meeting to order
2. Pledge of Allegiance
3. Approval of Minutes June 8, 2022
4. Approval of Warrant List
5. Public Comment
6. Ordinance 22-14 Adopting Lease Addendum #4 for the
Building Department office at
55 W. Maple

7. Approval of Payment for Sanitary Modernization Project
8. Final Approval of the Construction of the Boy Scout Addition
9. Authorize Mayor to enter into Memoranda of Understandings (MOUs) concerning the Metropolitan Alliance of Police (MAP), Chapter #186 Collective Bargaining Agreement
10. Report of Mayor
11. Report of Trustees:
 - S. Beach
 - T. Bradley
 - D. Spesia
 - D. Greggain
 - R. Bradley
 - D. Togliatti
12. Report of the Village Clerk
13. Report of Village Attorney
14. Report of Village Engineer
15. Report of Chief of Police
16. Report of Village Administrator
 - RFQ for N. Broadway Phase 2 Design Engineering Released
17. Adjourn

Coal City Village Hall
515 S Broadway, Coal City, Illinois 60416

MEMO

TO: Mayor Halliday and the Board of Trustees

FROM: Matthew T. Fritz
Village Administrator

MEETING

DATE: June 22, 2022

RE: ENTERING INTO A LEASE EXTENSION AT 55 W. MAPLE

The Village of Coal City has been utilizing a rental property at 55 W. Maple in order to accommodate a number of operations ranging from being the base office for the Building Department Inspector to storing items and documentation for the village to being the place where parks equipment resides. This building was the subject of an evaluation this year in order to determine if the Board should continue a lease for the utilization of the structure, build elsewhere, or purchase. In compliance with the determination for this facility, a 3-year lease extension was sought with the building ownership in order to maintain the village's current utilization of the facility.

Year one will maintain the village at its current rate of \$1,600 for monthly rent throughout the year. This ordinance includes the lease amendment, which would extend the lease for 3 years from the termination of the current lease next month. In years 2023 and 2024 the base amount would increase by an additional \$100 per month to cost \$1,800 per month in months 25 through 36 of this lease extension.

In the meantime, it has been recommended the village board consider the long-range space needs of its aging Police Department and Village Hall, which could possibly accommodate the facility needs taking place within this leased square footage. This will likely be a subject included within the board's next strategic planning session.

Recommendation:

Adopt Ordinance No. ____: Entering into a Lease Extension for the utilization of the 55 W. Maple Building.

THE VILLAGE OF COAL CITY
GRUNDY & WILL COUNTIES, ILLINOIS

ORDINANCE
NUMBER _____

**AN ORDINANCE AUTHORIZING THE VILLAGE TO EXTEND ITS EXISTING LEASE
OF 55 W. MAPLE STREET, COAL CITY, ILLINOIS FOR THREE YEARS IN
ACCORDANCE WITH THE TERMS OF ADDENDUM #4 TO LEASE AGREEMENT**

TERRY HALLIDAY, Village President
PAMELA M. NOFFSINGER, Village Clerk

SARAH BEACH
ROSS BRADLEY
TIMOTHY BRADLEY
DANIEL GREGGAIN
DAVID SPESIA
DAVID TOGLIATTI
Village Trustees

Published in pamphlet form by authority of the President and Board of Trustees of the Village of Coal
City
on _____, 2022

ORDINANCE NO. _____

AN ORDINANCE AUTHORIZING THE VILLAGE TO EXTEND ITS EXISTING LEASE OF 55 W. MAPLE STREET, COAL CITY, ILLINOIS FOR THREE YEARS IN ACCORDANCE WITH THE TERMS OF ADDENDUM #4 TO LEASE AGREEMENT

WHEREAS, the Village of Coal City, Grundy and Will Counties, Illinois (the “Village”) is an Illinois non-home rule municipal corporation, organized and operating pursuant to the Constitution and laws of the State of Illinois;

WHEREAS, the Village is authorized by Sections 11-61-3 and 11-76.1-1 of the Illinois Municipal Code, 65 ILCS 5/11-61-3 and 65 ILCS 5/11-76.1-1, to lease real property for public purposes for up to twenty (20) years;

WHEREAS, the Village previously entered into a one-year lease agreement (the “Lease”) with Jeffrey S. and Donna M. Halliday (cumulatively, “Lessors”) on July 13, 2016 for 55 W. Maple Street, Coal City, IL 60416 (the “Property”) to accommodate the Village’s Building Department offices and for the storage of certain personal property, equipment and supplies;

WHEREAS, the Village and Lessors have extended the term of the Lease through July 31, 2022 in accordance with the terms and conditions set forth in Addenda Nos. 1 through 3 to the Lease (cumulatively, the “Extended Lease”);

WHEREAS, the Village and Lessors mutually desire to further extend the term of the Extended Lease for an additional three year term at a new rental rate in accordance with the terms and conditions set forth in *ADDENDUM #4 TO LEASE AGREEMENT BETWEEN VILLAGE OF COAL CITY AND JEFFREY S. and DONNA M. HALLIDAY FOR 55 W. MAPLE STREET, COAL CITY, ILLINOIS* , attached hereto as **Exhibit A** and, by this reference, incorporated as though fully set forth herein (“Addendum #4”); and

WHEREAS, the Village President and Trustees (the “Corporate Authorities”) hereby find and determine that Addendum #4, substantially in the form affixed hereto as Exhibit A, is in the best interests of the Village, and the Corporate Authorities hereby conclude that it is advisable, necessary and in the best interests of the public health, safety and welfare of the Village to enter into Addendum #4;

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Coal City, Counties of Will and Grundy, Illinois, as follows:

SECTION 1. RECITALS. The foregoing recitals shall be and are hereby incorporated into and made a part of this Ordinance as if fully set forth in this Section 1.

SECTION 2. Enactment.

A. The Corporate Authorities hereby authorize, approve, and direct the Village President to execute and deliver Addendum #4 in the form attached hereto as Exhibit A.

B. The Corporate Authorities shall and do hereby authorize, approve, and direct the Village Clerk to affix the Village seal to Addendum #4 and to attest the executed Addendum #4 following the Village President’s signature.

C. The Corporate Authorities shall and do hereby authorize, approve, and direct the Village President, Village Clerk, Village Manager, Village Attorney and Village Treasurer to execute and deliver such documents, and undertake such additional tasks as may be necessary or convenient to carry out the intent of this Ordinance and consummate the and the transactions contemplated by Addendum #4.

SECTION 3. REPEALER. All ordinances in conflict herewith are hereby repealed to the extent of such conflict.

SECTION 4. RESOLUTION OF CONFLICTS. All ordinances or parts of ordinances in conflict herewith are hereby repealed to the extent of such conflict.

SECTION 5. SAVING CLAUSE. If any section, paragraph, clause, or provision of this Ordinance shall be held invalid, the invalidity thereof shall not affect any of the other provisions of this Ordinance, which are hereby declared to be separable.

SECTION 6. EFFECTIVENESS. This Ordinance shall be in full force and effect from and after its passage, approval, and publication in the manner provided by law.

SECTION 7. PUBLICATION. The Village Clerk is hereby directed to publish this Ordinance in pamphlet form.

SO ORDAINED this _____ day of _____, 2022, at Coal City, Grundy and Will Counties, Illinois.

AYES:

ABSENT:

NAYS:

ABSTAIN:

VILLAGE OF COAL CITY

Terry Halliday, President

Attest:

Pamela M. Noffsinger, Village Clerk

EXHIBIT A

Lease Addendum #4

Appended on following pages

**ADDENDUM No. 4 TO LEASE AGREEMENT
BETWEEN VILLAGE OF COAL CITY AND JEFFREY S. and DONNA M. HALLIDAY
FOR 55 W. MAPLE STREET, COAL CITY, ILLINOIS**

This Addendum No. 4 (“**Addendum 4**”) made and entered into this ____ day of June, 2022 (the “**Addendum 4 Effective Date**”) by and between **JEFFREY S. HALLIDAY** and **DONNA M. HALLIDAY**, as lessor (hereinafter collectively referred to as the “**Landlord**”), and the **VILLAGE OF COAL CITY**, an Illinois municipal corporation, as lessee (hereinafter referred to as the “**Tenant**”) amends the Lease Agreement for 55 W. Maple Street, Coal City, IL 60416 (the “**Leased Premises**”) dated July 14, 2016 (the “**Lease**”), and the previous three addenda thereto providing for extensions of the term and establishing new rents for the Leased Premises (“**Addendum 1**,” “**Addendum 2**,” and “**Addendum 3**,” respectively). Landlord and Tenant shall be collectively known as the “**Parties**.” Any capitalized term not defined in this Addendum 4 shall have the meaning given such term in the Lease.

WITNESSETH:

WHEREAS, the Parties are mutually desirous of modifying the Lease to further extend the term thereof for three (3) years and to establish the rental rate throughout said term as provided herein;

WHEREAS, the amendments set forth herein modify the Lease and where a portion of the Lease is modified by the amendments set forth herein, the terms of this Addendum 4 shall control, while any and all unaltered portions of the Lease shall remain in effect; and

WHEREAS, to the extent there is a conflict between the provisions of this Addendum 4 and the Lease, then the provisions of this Addendum 4 shall take precedence and prevail.

NOW, therefore, in consideration of the mutual promises and agreements contained herein, the sufficiency of which is hereby acknowledged by both Parties, the Parties hereto do promise and agree, as follows:

The Lease is hereby amended as follows:

1. Term

Paragraph 1.1 of the Lease is amended to provide that the term of the Lease shall be extended for the period commencing August 1, 2022 the (“**Commencement Date**”) and expiring July 31, 2025 (the “**Termination Date**”).

2. Compensation

Paragraph 4.0 of the Lease is amended to read as follows:

4.0 Rent. Beginning as of the Commencement Date, Tenant shall pay to and upon the order of Landlord, without demand, until otherwise notified in writing by Landlord, as rent for the Leased Premises, at such place or places as Landlord may designate in writing from time to time, and in default of such designation then at 150 W. First Street, Coal City, IL 60416, rent in the amount of ONE THOUSAND SIX HUNDRED AND NO/100 DOLLARS (\$1,600.00) as monthly rent, paid prospectively on or before the first day of the month for which it is intended to apply. The monthly rent shall be increased annually on each anniversary of the Commencement Date by \$100.00 over the monthly rate in effect for the previous year.

3. Terms and Conditions:

All other terms and conditions of the Lease not expressly modified by this Addendum 4 shall remain in effect as stated in the Lease.

IN WITNESS WHEREOF, Landlord and Tenant have caused this Addendum 4 to be executed on the day and year first above written at Coal City, Illinois.

“LANDLORD”:

By: _____
Jeffrey S. Halliday

By: _____
Donna M. Halliday

“TENANT”:

VILLAGE OF COAL CITY,
an Illinois municipal corporation.

By: _____
Terry Halliday, Village President

Attest:

Pamela Noffsinger, Village Clerk

(SEAL)

MEMO

TO: Mayor Halliday and the Board of Trustees

FROM: Matthew T. Fritz
Village Administrator

MEETING

DATE: June 22, 2022

**RE: PAYMENT FOR SANITARY MODERNIZATION PROJECT DESIGN
ENGINEERING**

The Village recently completed its sale of sanitary modernization project capital proceeds. Chamlin Engineering had completed this project about the third quarter of 2021 and bid the project prior to year's end. The Village Board awarded the project to the lowest bidder, D Construction at its February 9th Meeting. Chamlin has been provided some payments for the sanitary treatment plant modernization project, but this final payment will close out this portion of the engineering related to the design of the project.

Attached is an invoice for payment of the final \$57,600 related to this portion of the project.

Recommendation:

Authorize payment of \$57,600 for design engineering of the Sanitary Treatment Plant Modernization project.



INVOICE

Please Remit Payment to:
 Chamlin & Associates, Inc.
 221 W. Washington Street
 Morris, IL 60450

BILL TO

Village of Coal City
 515 South Broadway
 Coal City, IL 60416

INVOICE #	DATE
3021592	8/27/2021
PROJECT #	TERMS
5843.01	Net 30 Days
Wastewater Treatment Plant Improvements 2021	
Design	

Professional Services Through August 22, 2021

Engineering services for the design phase for improvements at their existing Wastewater Treatment Plant in Coal City, Illinois per Agreement for Engineering Services dated June 17, 2021.

Services this period include meeting with Village to define scope of work; provide all necessary topographical surveys; on-site to evaluate existing features and needed improvements; communications to identify appropriate equipment; design of equipment installation and building; electrical design and initial I & C; arrays and participate in equipment tours; all required drafting and development of project specifications.

	Total Per Task	% Complete	Amount
TASK 1 Wastewater Treatment Plant Improvements Design	\$72,000.00	80%	57,600.00
TASK 2 Soil Borings	\$1,500.00	0%	-
TASK 3 Financing Assistance	\$1,500.00	0%	-
Total			57,600.00
Previously Billed			-
Final Total			\$57,600.00

Thank you for your business!

Past due charges are subject to 18% interest per annum.

Peru • Morris • Ottawa • Mendota

www.chamlin.com

MEMO

TO: Mayor Halliday and the Board of Trustees

FROM: Matthew T. Fritz
Village Administrator

MEETING

DATE: June 22, 2022

RE: UPDATE FOR THE BOY SCOUT CABIN ADDITION

Back in June of 2019, the Scout Master came to provide an update on a possible addition to the Boy Scout Cabin that is located between the Concession Stand and Lions Club on the west side of Illinois Street. The fundraising has been completed and the prints were submitted for this addition (attached). During the last conversation regarding this project, the chapter was looking for sponsorship from a local organization, which possibly included the Village of Coal City as a potential partner. Since that time, Coal City's chapter is now sponsored by the Coal City Methodist Church.

The existing cabin does not have the regulated lease, which regulates the building's ownership/utilization like the Lions Club. The building was simply constructed to accommodate the needs of the local Coal City Chapter and has always been used by the Boy Scouts since its inception. At this point, the addition to accommodate a few more scouts and provide a restroom will improve a building that belongs to the Village of Coal City on public property.

With this in mind, I would like to have a formal approval of the project, since it will belong to the Village following its completion. Since it will belong to the Village, no permit fees will be charged for this improvement. Water and sanitary will be necessary and will not be charged at the property, but will require a separate service from that currently provided to the Lions Club and is split to provide water for Boy Scouts as of today.

Following the Board's approval of this permit, Mark Heinle and I will follow up with the final licensing to continue the Boy Scouts utilization of this space since no paperwork exists today.

Recommendation:

Approve the Construction of the Boy Scout Addition to the existing Boy Scout Cabin to be completed without the collection of building permit fees.

TYPICAL PLUMBING NOTES:

1. PLUMBING SHOWN IS CONCEPTUAL AND REPRESENTATIVE IN NATURE. PLUMBING CONTRACTOR SHALL VERIFY PIPE SIZES, RUNS, ETC. DURING THE BID PHASE PROCESS.
2. WORK SHALL BE DONE IN ACCORDANCE WITH THE 2015 ILLINOIS PLUMBING CODE AND VILLAGE OF COAL CITY AMENDMENTS.
3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DESIGN THE MOST ECONOMICAL AND DIRECT ROUTING OF THE PIPE RUNS.
4. FITTINGS USED ON THE PLUMBING SYSTEM ARE TO BEAR THE MARK OF APPROVAL AND MANUFACTURER AS PER PLUMBING CODE.
5. COORDINATE PLUMBING FIXTURES AND ACCESSORIES WITH OWNER.
6. CONTRACTOR TO PROVIDE FIXTURE CUTS TO OWNER FOR REVIEW AND APPROVAL.
7. THE CONTRACTOR IS RESPONSIBLE TO FULLY COORDINATE THEIR WORK WITH OTHER TRADES PRIOR TO FABRICATION AND INSTALLATION, TO MEET DESIGN CRITERIA OF THE PROJECT.
8. PROVIDE AND INSTALL SHUT OFF VALVES AT HOT AND COLD WATER SUPPLY RISERS AND AT FIXTURES.
9. INSTALL WATER SERVICE AND SANITARY SYSTEM TO MEET VILLAGE OF COAL CITY REQUIREMENTS. THE WATER SERVICE AND BUILDING SEPTIC WASTE LINE SHALL BE INSTALLED IN SEPARATE TRENCHES WITH A MINIMUM OF (10') TEN FEET HORIZONTAL SEPARATION. THE WATER SERVICE LINE SHALL BE A MINIMUM OF (5') FIVE FEET IN DEPTH BELOW GRADE.
10. THE CONTRACTOR SHALL FIELD VERIFY THE DRAIN, WASTE, VENT, AND WATER DISTRIBUTION SYSTEM SHALL BE PROPERLY SIZED IN ACCORDANCE WITH THE VILLAGE OF COAL CITY REQUIREMENTS.
11. TYPE L COPPER REQUIRED FOR DOMESTIC WATER.
12. VENTS THROUGH ROOF FOR NEW PLUMBING SHALL BE LOCATED 15'-0" FROM AIR INTAKES.
13. THE TEMPERATURE OF THE HOT WATER AT THE OUTLETS FOR NEW LAVATORY SHALL NOT EXCEED 100 DEGREES PER IAC 400.310 n) 14).
14. AFTER INSTALLATION PROPERLY FLUSH PIPING OF CONTAMINATED MATERIAL AND CHLORINATE NEW MANS. CLEAN AND PRESSURE TEST WATER DISTRIBUTION SYSTEMS. PROPERLY DISINFECT SYSTEM AND FLUSH CLEAN WITH MUNICIPAL DOMESTIC WATER. PRESSURE TEST SYSTEM TO 125 PSI, REPAIR LEAKS AND RETEST. TEST SAMPLES IN ACCORDANCE WITH ANSI/AWWA C601.

TYPICAL ELECTRICAL NOTES:

1. WORK SHALL BE DONE IN ACCORDANCE WITH LOCAL, STATE AND NATIONAL ELECTRIC CODES AND WITH VILLAGE OF COAL CITY AMENDMENTS.
2. WIRING TO BE IN CONDUIT, MINIMUM SIZE SHALL BE 3/4" EMT.
3. MINIMUM SIZE CONDUCTOR SHALL BE #12 THIN, OR THIN WHERE REQUIRED. CONDUCTOR MATERIAL SHALL BE COPPER ONLY. CONNECT TO EXISTING ELECTRICAL PANEL.
4. PROVIDE DEDICATED NEUTRAL FOR EACH BRANCH CIRCUIT UNLESS HANDLE TIES ARE UTILIZED TO MEET THE REQUIREMENTS OF NEC ARTICLE 201.4(B).
5. PROVIDE LOCK-ON CIRCUIT BREAKER DEVICES FOR EMERGENCY LIGHTING BRANCH CIRCUITS.

DRAWINGS INDEX

TITLE SHEET

T-1 NOTES, ABBREVIATIONS AND SYMBOLS, DRAWINGS INDEX, CERTIFICATION

ARCHITECTURAL

- A-1 SITE PLAN, NOTES
- A-2 FLOOR PLAN, INTERIOR ELEVATIONS, AND SECTIONS
- A-3 ELECTRICAL PLAN AND EXTERIOR ELEVATIONS
- A-4 FOUNDATION PLAN, FRAMING PLAN, AND NOTES

SCOPE DOCUMENTS

THESE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF THE ARCHITECTURAL DESIGN CONCEPT, THE DIMENSIONS OF THE BUILDING, THE TYPE OF STRUCTURAL SYSTEM, AND AN OUTLINE OF MAJOR ARCHITECTURAL ELEMENTS OF CONSTRUCTION. AS "SCOPE" DOCUMENTS THESE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE WORK AND/OR MATERIALS FOR THE FULL PERFORMANCE AND/OR COMPLETION OF THE WORK REQUIRED.

IT IS INTENDED THAT THE WORK SHALL BE OF SOUND AND QUALITY CONSTRUCTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES FOR WHICH CONSTRUCTION IS EXECUTED AND SHALL ABIDE BY THE SAFETY REGULATIONS AND RULES OF LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR IS ALSO RESPONSIBLE FOR PAYMENT TO THEIR MATERIAL MEN AND SUPPLIERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION AND DESIGN OF THEIR SYSTEMS AND TO CONFORM TO APPLICABLE CODE REQUIREMENTS. THEY SHOULD PREPARE AND SUBMIT DRAWINGS FOR APPROVAL AND OBTAIN PERMITS AS REQUIRED PRIOR TO STARTING THE WORK. WORK SHALL BE IN COMPLIANCE WITH LOCAL, AND STATE CODES AND AGENCIES IN CONNECTION WITH THIS PROJECT ALONG WITH BUILDING CODE AMENDMENTS BY THE VILLAGE OF COAL CITY, ILLINOIS. DISCREPANCIES BETWEEN CONSTRUCTION DOCUMENTS AND APPLICABLE CODES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT.

CONTRACTOR SHALL TAKE OUT AND MAINTAIN ADEQUATE INSURANCE FOR THIS WORK AND A COPY OF THE CERTIFICATE OF INSURANCE SHALL BE SUBMITTED TO THE OWNER FOR APPROVAL AND PROJECT RECORD.

THE OBTAINING AND THE PAYMENT OF FEES FOR PERMITS, INSPECTIONS AND TESTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL HAVE CURRENT APPROVED (BY BOTH LOCAL AND STATE AUTHORITIES) LICENSES AND PERMITS PRIOR TO BEGINNING WORK ON THIS PROJECT. THE CONTRACTOR SHALL REVIEW THE PROJECT AND PROJECT SITE PRIOR TO BIDDING AND BEGINNING WORK AND ENSURE THEIR WORK IS IN CONFORMANCE TO LOCAL CODES AND ORDINANCES. CONTRACTOR MUST PROPERLY COORDINATE THEIR WORK TO MINIMIZE STRESS ON THE SYSTEM INSTALLED AND MINIMIZE CONFLICTS WITH OTHER TRADES.

DOCUMENTS FOR WHICH SEAL BELOW APPLIES CONSIST OF DRAWINGS AS LISTED IN THE DRAWINGS INDEX ON DRAWING TITLE SHEET T-1.

HEALY, BENDER & ASSOCIATES, INC.

By: David G. Patton, AIA, LEED AP BD+C
License Number: 001-01421
License Expires: November 30, 2020









Signature:  

Professional Design Firm - Architect Corporation
Healy, Bender & Associates, Inc.
David G. Patton, Managing Agent
License Number: 184-000385
Expiration Date: April 30, 2021







ABBREVIATIONS AND SYMBOLS

AB ANCHOR BOLT	DL DEAD LOAD	INT. INTERIOR
AC ACOUSTIC	DN. DOWN	JAN. JANITOR
AC.T. ACOUSTICAL TILE	DR. DOOR	JT. JOINT
ADA AMERICANS WITH DISABILITIES ACT	DRWG. DRAWING	L. LENGTH
AF ABOVE FINISHED FLOOR	DS DOWNSPOUT	LAM. LAMINATE
AISC AMERICAN INSTITUTE OF STEEL CONSTRUCTION	EA. EACH	LAV. LAVATORY
ALUM. ALUMINUM	EIFS EXTERIOR INSULATED FINISH SYSTEM	LG. LONG
AN AND	EL. ELEVATIONS (USGS)	LL LIVE LOAD
AT AT	ELEV. ELEVATION	LVT LUXURY VINYL TILE
BB BULLETIN BOARD	EQ. EQUAL	MAS. MASONRY
BD. BOARD	EQUIP. EQUIPMENT	MAX. MAXIMUM
BIT. BITUMINOUS	EW EACH WAY	MB MARKERBOARD
BLDG. BUILDING	EWC ELECTRIC WATER COOLER	MECH. MECHANICAL
BLK. BLOCK	EXIST. EXISTING	MFR. MANUFACTURER
BLKG. BLOCKING	EXP. EXPANSION	MIN. MINIMUM
BM. BEAM	EXT. EXTERIOR	MISC. MISCELLANEOUS
BOT. BOTTOM	FBO FURNISHED BY OTHERS	MO MASONRY OPENING
BRG. BEARING	FD FLOOR DRAIN	MPH MILES PER HOUR
BTN. BETWEEN	FDN. FOUNDATION	MTL. METAL
BUR BUILT-UP ROOF	FE FIRE EXTINGUISHER	MTD. MOUNTED
B/ BOTTOM OF	FEC FIRE EXTINGUISHER CABINET	NIC NOT IN CONTRACT
CAB. CABINET	FIN. FINISHED	NO. NUMBER
CB CHALKBOARD	FLEX. FLEXIBLE	NOM. NOMINAL
CEIL. CEILING	FLR. FLOOR	NS NO SCALE
CJ CONTROL JOINT	FR. FRAME	OC ON CENTER
CL. CENTERLINE	FRMG. FRAMING	OD OUTSIDE DIAMETER
CLO. CLOSET	FRT FIRE RETARDANT TREATED	OF OUTSIDE FACE
CLR. CLEAR	FTG. FOOTING	OH OVERHEAD
CLRM. CLASSROOM	GA GAUGE	OPG. OPENING
CMU CONCRETE MASONRY UNIT	GALV. GALVANIZED	OPP. OPPOSITE
CO CLEAN OUT	GC GENERAL CONTRACTOR	PART. PARTITION
COL. COLUMN	GEN. GENERAL	PC PRECAST
CONC. CONCRETE	GFCI GROUND FAULT CIRCUIT INTERRUPTER	PEWB PRE-ENGINEERED METAL BUILDING
COND. CONDITION	GFRG GLASS FIBER REINFORCED CONCRETE	PRE-ENGINEERED WOOD BUILDING
CONST. CONSTRUCTION	GFRG GLASS FIBER REINFORCED GYPSUM	PLAS. PLASTIC
CONT. CONTINUOUS	GL. GLASS	PL PLATE
CONTR. CONTRACTOR	GYP. BD. GYPSUM BOARD	PT PORCELAIN TILE
CORR. CORRIDOR	HC HOLLOW CORE	PSF POUNDS PER SQUARE FOOT
CPT. CARPET	HM HOLLOW METAL	PSI POUNDS PER SQUARE INCH
CT CERAMIC TILE	HORIZ. HORIZONTAL	PER PER
D DEEP	HT. HEIGHT	QT QUARRY TILE
DET. DETAIL	IF INSIDE FACE	R. RISER
DF DRINKING FOUNTAIN	INSUL. INSULATION	RAD. RADIUS
DIA. DIAMETER		RD ROOF DRAIN
DIM. DIMENSION		

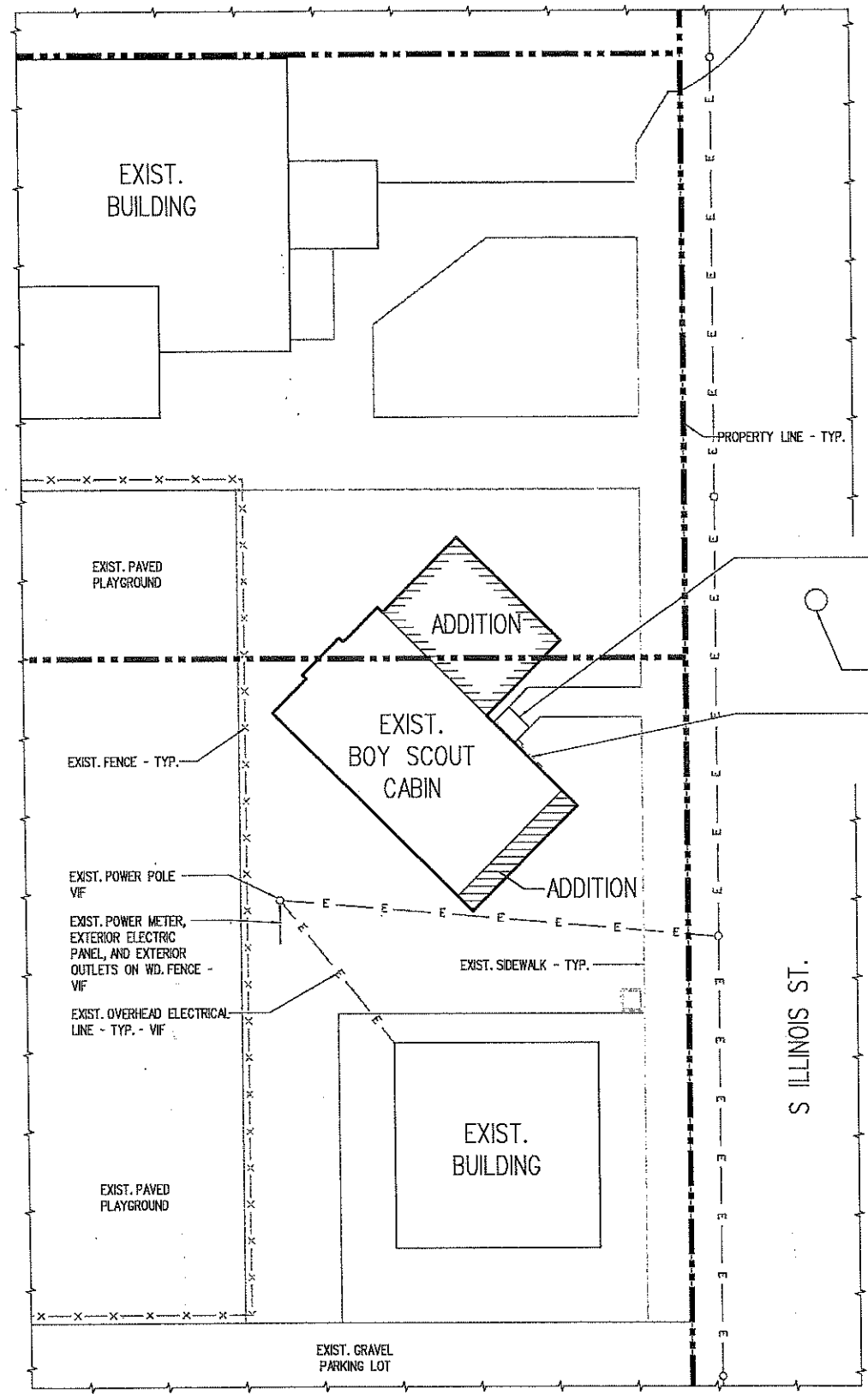
MATERIAL INDICATIONS

 CMU	 GRAVEL
 CONCRETE	 INSULATION - RIGID BATT
 EARTH	 METAL - LARGE BATT
 FACE BRICK	 WOOD - ROUGH FINISHED

MARKING EXPLANATIONS

 DETAIL OR SECTION NUMBER	 DOOR NUMBER
 SHEET WHERE DETAIL OR SECTION APPEARS	 DOOR TYPE
 ELEVATION NUMBER	 SHEET WHERE ELEVATION APPEARS

NOTES, ABBREVIATIONS AND SYMBOLS, DRAWINGS INDEX, CERTIFICATION	PROJ. NO. 7-319-74
CABIN ADDITION 490 ILLINOIS STREET FOR COAL CITY BOY SCOUT TROOP 466	DRAWN BY AMH, JCU DATE 01-24-2020 REVISIONS
HEALY, BENDER & ASSOCIATES, INC. ARCHITECTS PLANNERS	SHEET NO. T-1 OF 1



SAWCUT AND REMOVE EXIST. CONC. WALK AS REQ. - PROVIDE NEW 5" THICK CONC. WALK W/ 6x6 W2.1xW2.1 WWF ON 6" GRANULAR BASE FLUSH W/ EXIST. FLOOR SLAB - SLOPE NEW WALK AT 1/2" MAX. AND MEET EXIST. WALK FLUSH - PROVIDE EXPANSION JOINT BETWEEN NEW CONC. AND EXIST. CONC. WALK/FLR. SLAB

ASSUMED EXIST. SANITARY MANHOLE - VIF

EXIST. GAS SERVICE - VIF - WORK SHALL BE PERFORMED AS NOT TO DAMAGE EXIST. SERVICE

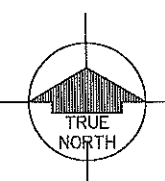
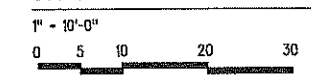
GENERAL DEMOLITION NOTES

1. FIELD VERIFY AND COORDINATE ITEMS, DIMENSIONS, CONDITIONS, QUANTITIES, ETC.
2. DRAWINGS INDICATE THE GENERAL INTENT OF THE DEMOLITION WORK AND ARE FOR REFERENCE PURPOSES ONLY. THEY ARE NOT INTENDED TO BE THE SOLE SOURCE OF EXISTING CONDITIONS TO BE DEMOLISHED.
3. EXACT EXTENT OF DEMOLITION AS SHOWN ON DRAWINGS AND TO BE PERFORMED SHALL BE VERIFIED AT THE SITE. DETERMINE THE NATURE AND EXTENT OF DEMOLITION THAT WILL BE NECESSARY BY COMPARING THE DRAWINGS WITH EXISTING SITE CONDITIONS. OPERATIONS SHALL BE DONE IN A CAREFUL AND ORDERLY MANNER TO AVOID HAZARDS TO PERSONS AND PROPERTY, AND INTERFERENCE WITH THE USE OF ADJACENT AREAS, AND INTERRUPTION OF FREE PASSAGE TO AND FROM SUCH AREAS.
4. PROPERLY PROTECT EXISTING BUILDING TO REMAIN. REPLACE ANY DISTURBED AND/OR DAMAGED AREAS WITH NEW LIKE MATERIALS MATCHING EXISTING.
5. PROVIDE AND MAINTAIN, DURING DEMOLITION OPERATIONS, BARRICADES AND TEMPORARY ENVIRONMENTAL AND SECURITY PROTECTION TO SEPARATE THE WORKING AREA FROM OTHER AREAS. CONDUCT DEMOLITION OPERATIONS TO MINIMIZE INTERFERENCE WITH ADJACENT STRUCTURES. REMOVE PROTECTIONS WHEN WORK IS COMPLETE.
6. PERFORM DEMOLITION WORK AS NECESSARY TO ACCOMPLISH THE WORK INCLUDING THE REMOVAL AND PROPER DISPOSAL OF ALL ITEMS WHICH ARE EXPOSED AND NOT TO REMAIN IN USE, INCLUDING BUT NOT NECESSARILY LIMITED TO FINISHES, WALLS, DOORS, WINDOWS, FRAMES, SLABS, PLUMBING, MECHANICAL, AND ELECTRICAL ITEMS.
7. PROPERLY DISPOSE OF DEMOLISHED MATERIAL AND OTHER OBSTACLES AS REQUIRED FOR A COMPLETE AND PROPER INSTALLATION OF NEW WORK AND THE DISPOSITION OF MATERIALS INCIDENTAL TO THE WORK.
8. COORDINATE WORK WITH THAT OF OTHER TRADES.

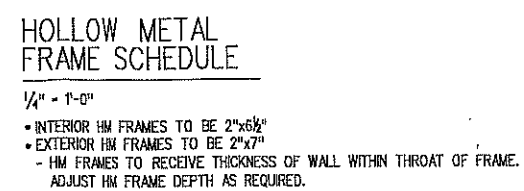
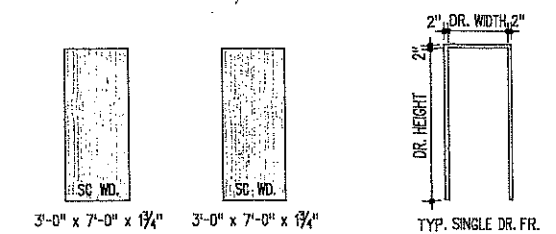
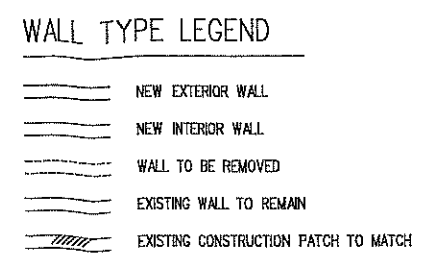
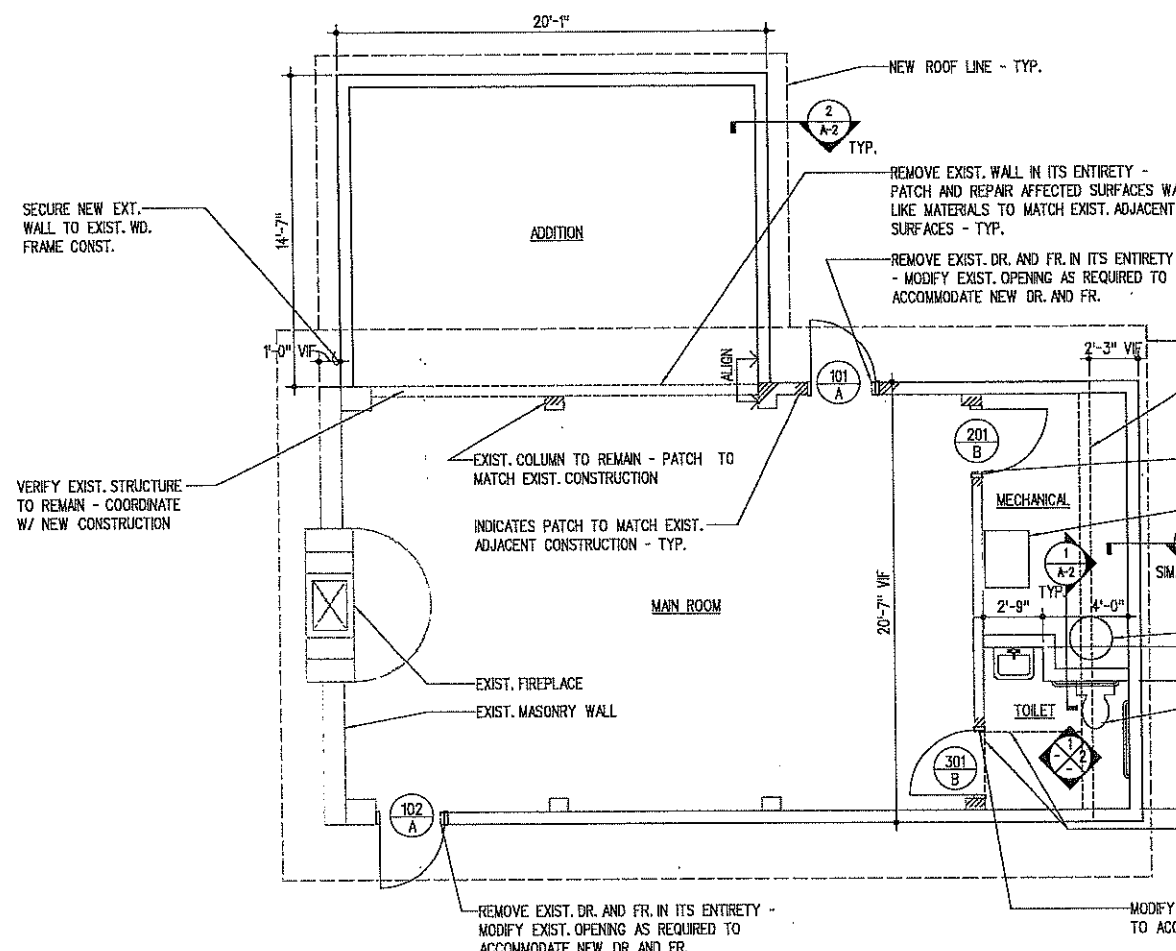
GENERAL NOTES

1. FIELD VERIFY AND COORDINATE ITEMS, DIMENSIONS, CONDITIONS, AND QUANTITIES, ETC. REVIEW ANY DISCREPANCIES WITH ARCHITECT.
2. MAINTAIN REQUIRED EXITS FROM THE EXISTING BUILDING THROUGH SUBSTANTIAL COMPLETION.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR EXTENDING AND ADJUSTING EXISTING ITEMS WHETHER SHOWN OR NOT INCLUDING ELECTRICAL, WIRING, CONDUITS, ETC.
4. AT LOCATIONS WHERE NEW CONDUITS, PIPING, ETC. PENETRATE THROUGH A NEW OR EXISTING WALL, INSTALL UL RATED THROUGH-PENETRATION FIRE STOPPING SYSTEM AROUND PIPING, ETC. TO PROVIDE COMPLETE FIRE RATED SEPARATION AS REQUIRED.
5. WHERE NEW PENETRATIONS ARE MADE IN EXISTING WALLS AND WHERE DEMOLITION HAS OCCURRED, CONTRACTOR SHALL RECONSTRUCT WALL TIGHT AROUND PENETRATION WITH MATERIALS TO MATCH EXISTING WALL CONSTRUCTION.
6. PATCH EXISTING CONSTRUCTION AND NEWLY EXPOSED CONSTRUCTION AFFECTED BY THE WORK WITH MATERIALS AND FINISHES CONSISTENT WITH EXISTING CONSTRUCTION AND NEWLY EXPOSED CONSTRUCTION WHETHER OR NOT INDICATED ON DRAWINGS, TYP. UNLESS OTHERWISE NOTED. PROVIDE NECESSARY PREPARATORY WORK TO EXISTING CONSTRUCTION AFFECTED BY THE WORK TO RECEIVE NEW AND PROPER FINISHES. PROPERLY PAINT AFFECTED WORK TO MATCH ADJACENT AND AS NOTED IN THE DRAWINGS.
7. NEW CONSTRUCTION, INCLUDING BUT NOT LIMITED TO GYPSUM BOARD, EXPOSED 2X WOOD NAILERS, WOOD TRIM, HOLLOW METAL DOOR FRAMES, ETC., SHOULD BE PROPERLY PREPARED AND PAINTED.

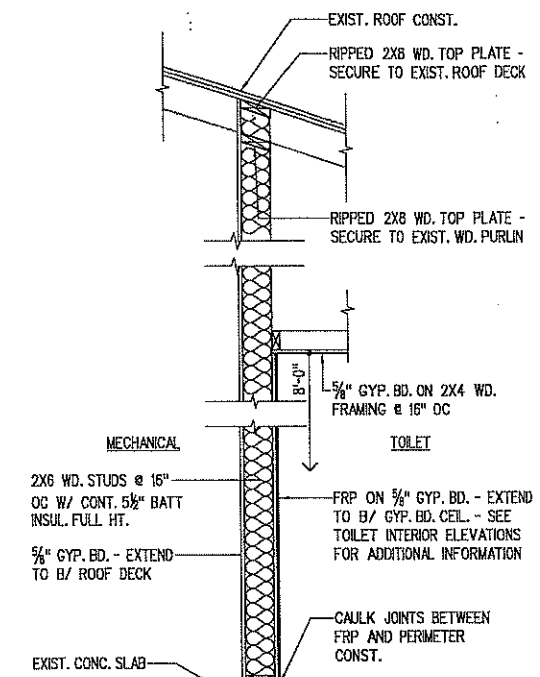
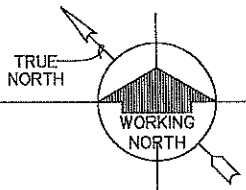
SITE PLAN



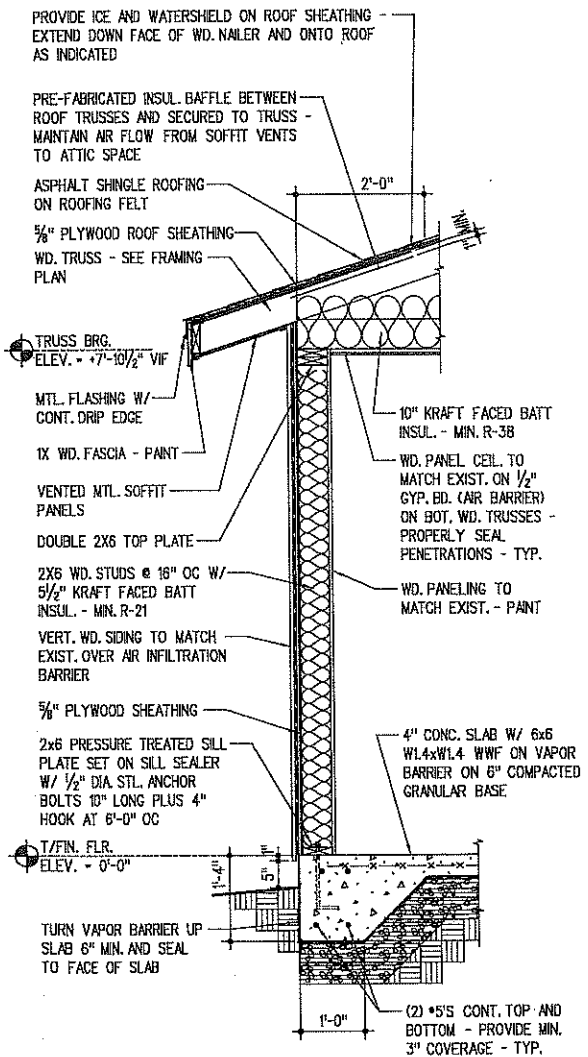
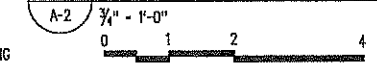
SITE PLAN, NOTES		PROJ. NO. 7-319-74
CABIN ADDITION 490 ILLINOIS STREET FOR COAL CITY BOY SCOUT TROOP 466 COAL CITY, GRUNDY COUNTY, ILLINOIS		DESIGNED BY AMB, JCJ
		DATE 01-24-2020
		REVISIONS
HEALY, BENDER & ASSOCIATES, INC. ARCHITECTS PLANNERS		SHEET NO. A-1
644 BELLEVUE AVENUE, SUITE 101, BETHLEHEM, PA 18010 TEL: 610-861-1575 FAX: 610-861-1576		OF 4



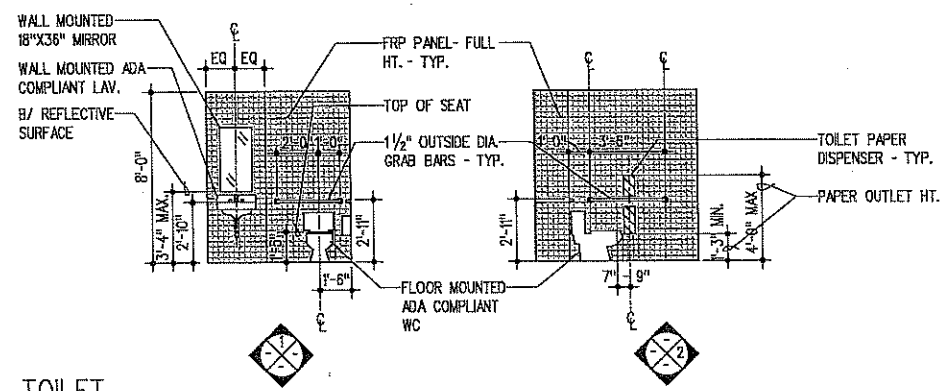
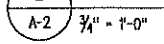
FLOOR PLAN



1 TYP. INTERIOR WALL

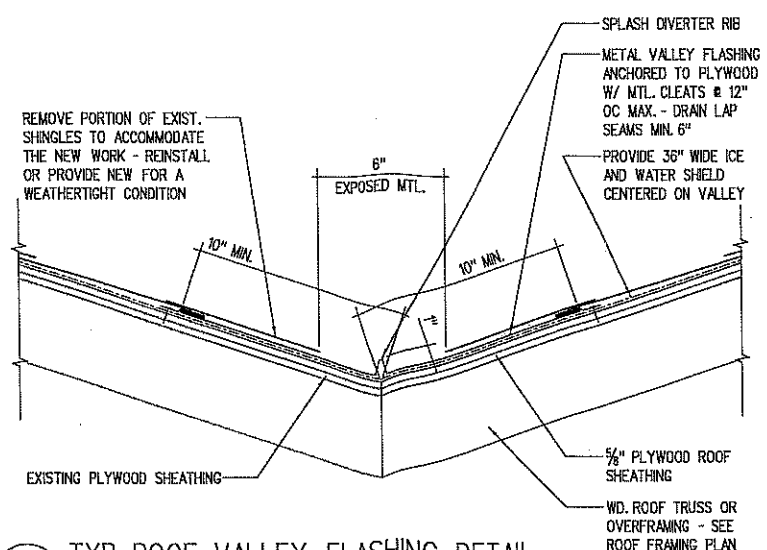


2 TYP. EXTERIOR WALL SECTION



TOILET

1/4" = 1'-0" • FLUSH CONTROLS TO BE ON OPEN SIDE OF WC.



3 TYP. ROOF VALLEY FLASHING DETAIL



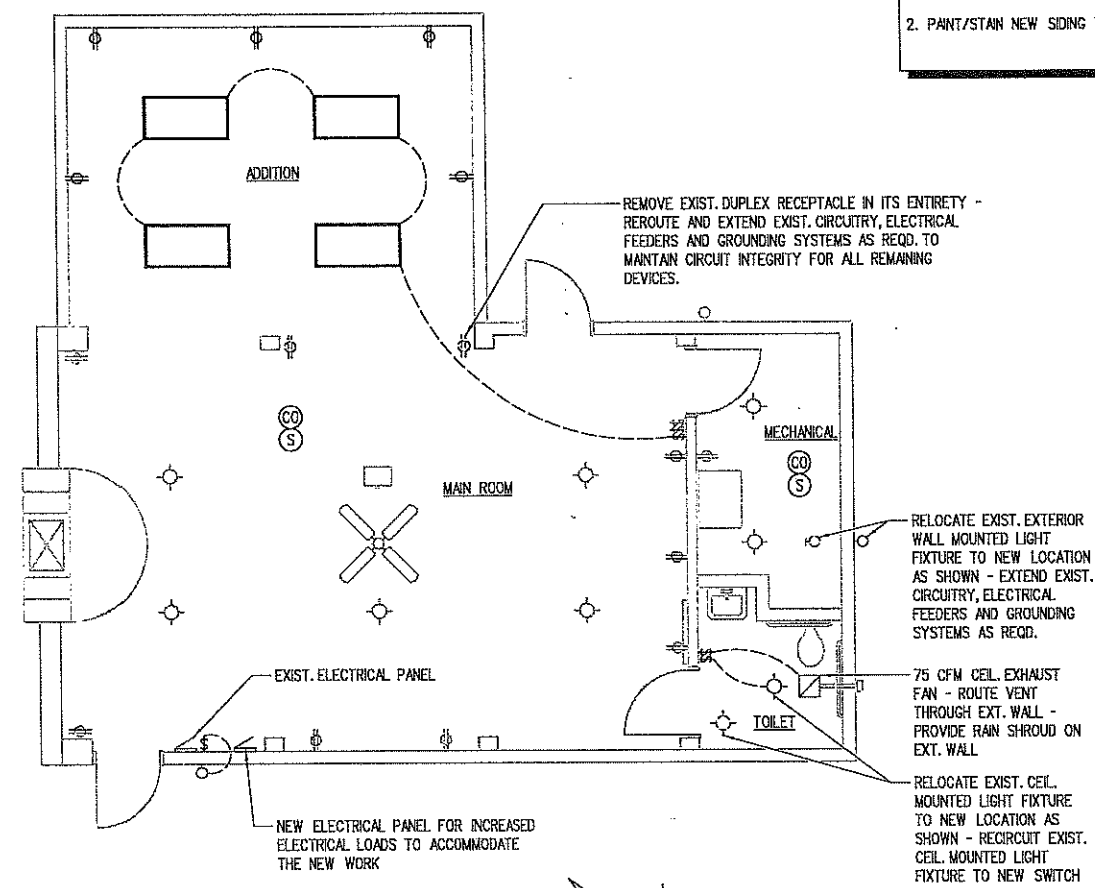
FLOOR PLAN, INTERIOR ELEVATIONS, AND SECTIONS		PROJ. NO. 7-3119-74
CABIN ADDITION 480 ILLINOIS STREET FOR COAL CITY BOY SCOUT TROOP 466 COAL CITY, GRUNDY COUNTY, ILLINOIS		DRAWN BY AMB DATE 01-24-2020 REVISIONS
HEALY, BENDER & ASSOCIATES, INC. ARCHITECTS PLANNERS 480 HELDE AVENUE, SPRINGFIELD, MISSOURI 65704-1500 FAX 660-835-1500		SHEET NO. A-2 OF 4

ELECTRICAL SYMBOL LEGEND

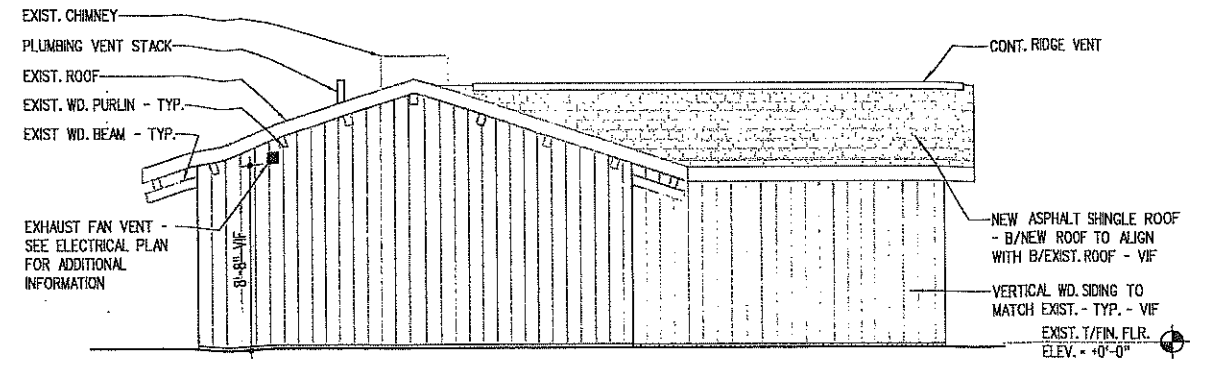
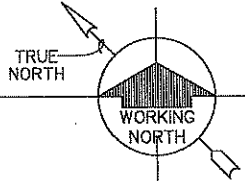
- ⊕ ⊕ ⊕ DUPLEX RECEPTACLE (DEMO, EXISTING, NEW/RELOCATED)
- § § SWITCH (EXISTING, NEW)
- ⊠ NEW CEILING MOUNTED EXHAUST FAN
- ⊙ ⊙ ⊙ WALL MOUNTED LUMINAIRE (DEMO, EXISTING, NEW/RELOCATED)
- ⊙ ⊙ CEILING MOUNTED LUMINAIRE (EXISTING, NEW/RELOCATED)
- ⊙ ⊙ ⊙ CARBON MONOXIDE AND SMOKE DETECTOR
- ▭ NEW SURFACE MOUNTED 2X4 LUMINAIRE - COORDINATE W/ NEW STRUCTURE
- ⊗ EXISTING CEILING FAN
- ⊠ EXISTING CEILING MOUNTED PROJECTOR
- ▬ EXISTING WALL MOUNTED STRIP LUMINAIRE
- ⊡ EXISTING ELECTRICAL PANEL

EXTERIOR FINISH NOTES:

1. PAINT/STAIN NEW DOOR AND FRAMES.
2. PAINT/STAIN NEW SIDING TO MATCH EXISTING.

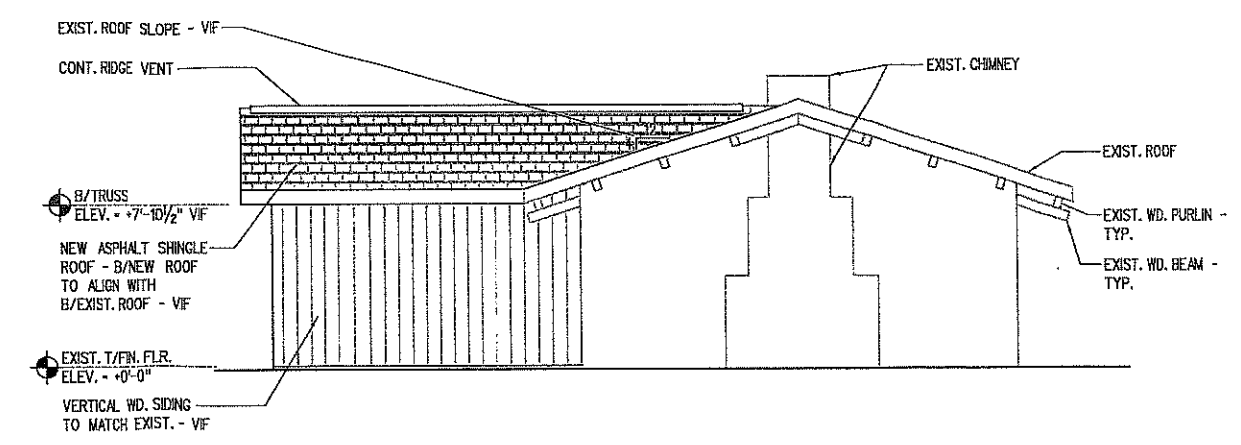


ELECTRICAL PLAN



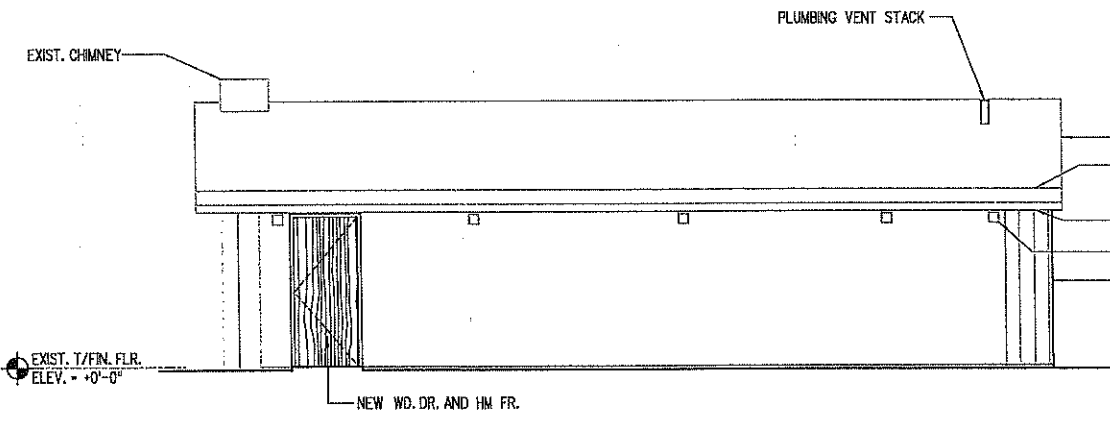
EAST ELEVATION

1/4" = 1'-0"



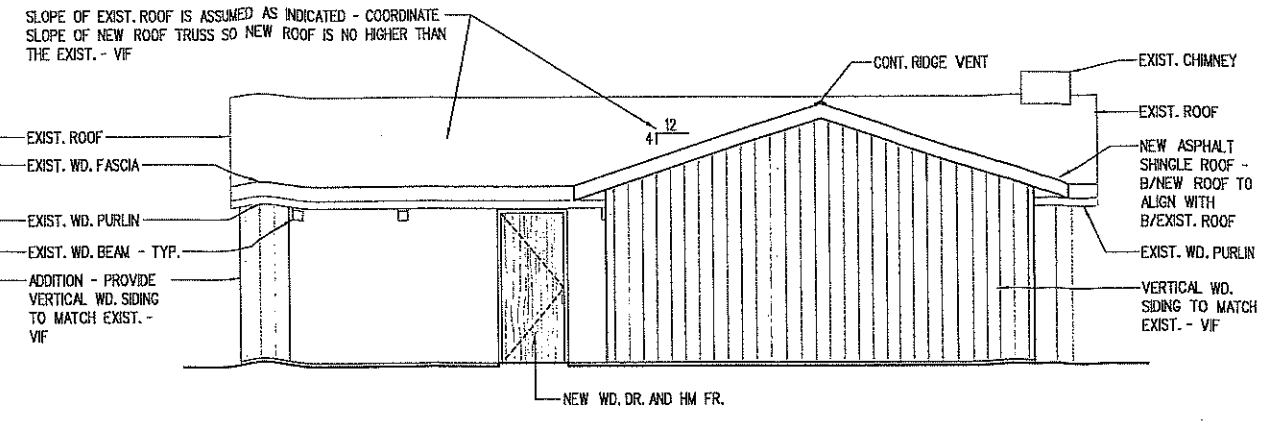
WEST ELEVATION

1/4" = 1'-0"



SOUTH ELEVATION

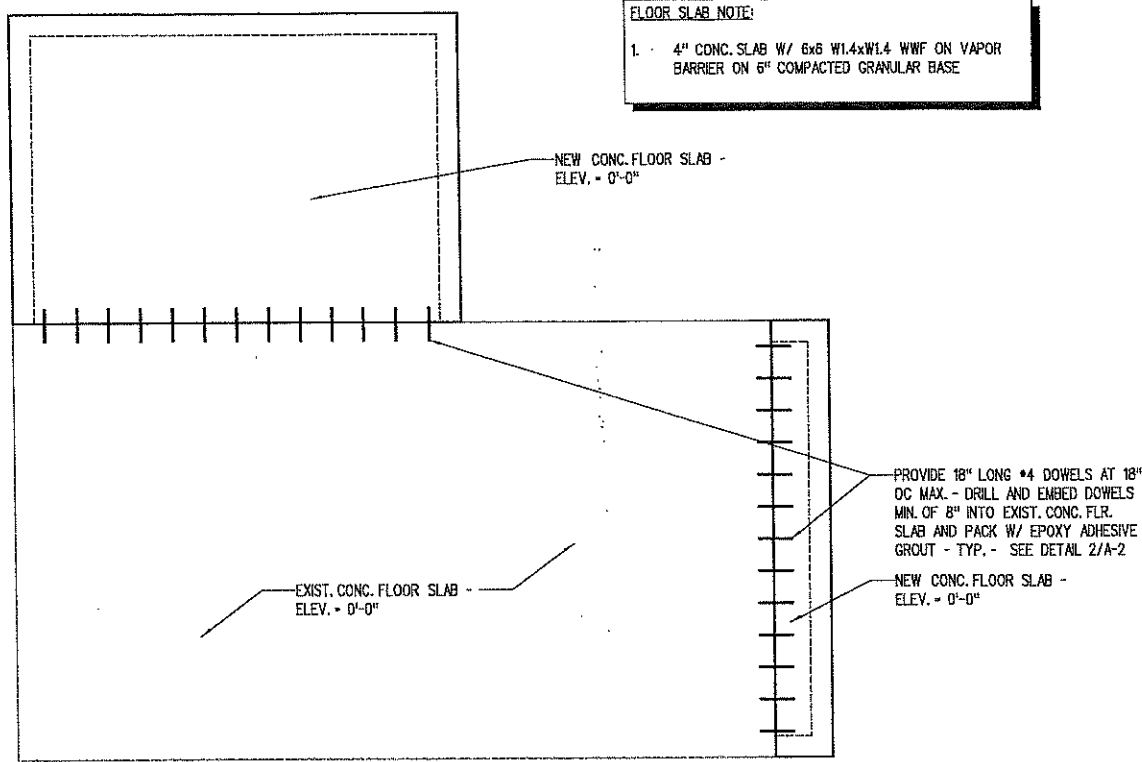
1/4" = 1'-0"



NORTH ELEVATION

1/4" = 1'-0"

ELECTRICAL PLAN AND EXTERIOR ELEVATIONS		PROJ. NO. 7-3119-74
CABIN ADDITION 490 ILLINOIS STREET FOR COAL CITY BOY SCOUT TROOP 466 COAL CITY, GRUNDY COUNTY, ILLINOIS		DRAWN BY AMB
		DATE 01-24-2020
		REVISIONS
HEALY, BENDER & ASSOCIATES, INC. ARCHITECTS PLANNERS 4040 BELLEVUE AVENUE, BARTLESVILLE, OK 74641 TEL: 800.842.4222 FAX: 800.842.4215		SHEET NO. A-3
		OF 4



FLOOR SLAB NOTE:
 1. 4" CONC. SLAB W/ 6x6 W1.4xW1.4 WWF ON VAPOR BARRIER ON 6" COMPACTED GRANULAR BASE

GENERAL FOUNDATION NOTES:

- ASSUME BEARING CAPACITY OF SOIL TO BE 2,000 PSF.
- MINIMUM CONCRETE STRENGTH TO BE 3,500 PSI AT 28 DAYS.
- CONCRETE FLOOR SLAB ON GRADE:
 PROVIDE 4" THICK CONCRETE FLOOR SLAB WITH (1) LAYER 6x6 W1.4xW1.4 WELDED WIRE FABRIC REINFORCEMENT ON VAPOR BARRIER ON MINIMUM 6" THICK LAYER OF COMPACTED GRANULAR BASE. PROVIDE THICKENED TURNED DOWN EDGE AT EXTERIOR PERIMETER OF SLAB. SEE DETAIL 1/A-3, TYP.
- TOP OF CONCRETE SLAB ON GRADE ELEVATION TO MATCH EXISTING SLAB.
- PROVIDE CONCRETE FLOOR SLAB CONTROL JOINTS AT 10'-0" ON CENTER MAXIMUM. PANELS SHALL BE NEARLY SQUARE AND PANEL LENGTH SHALL NOT EXCEED 1.5 TIMES PANEL WIDTH.
- CONTRACTOR SHALL COORDINATE OPENINGS, DEPRESSIONS, SLEEVES, AND MECHANICAL/ELECTRICAL/PLUMBING ITEMS IN CONCRETE WORK WITH TRADES INVOLVED AND COORDINATE PROPER DIMENSIONS OF ITEMS CAST IN OR PASSING THROUGH CONCRETE.

WOOD ROOF TRUSS NOTES:

- WOOD ROOF TRUSSES SHALL BE DESIGNED BY THE ROOF TRUSS MANUFACTURER. PROVIDE SHOP DRAWINGS AND STRUCTURAL CALCULATIONS, AS SPECIFIED, SIGNED AND SEALED BY AN ILLINOIS LICENSED STRUCTURAL ENGINEER FOR SUBMITTAL TO AUTHORITY HAVING JURISDICTION.
- DESIGN CRITERIA:
 - CONNECTIONS
 - PROVIDE CONNECTION BETWEEN WOOD ROOF TRUSSES AND EXTERIOR WOOD FRAMED BEARING WALLS TO PROVIDE FOR A MINIMUM DIAPHRAGM SHEAR STRENGTH OF 300 POUNDS PER LINEAR FOOT (ON PLANE).
 - WOOD ROOF TRUSSES SHALL BE ANCHORED TO WOOD WALL FRAMING WITH TWO (2) METAL FRAMING ANCHORS AT EACH END OF EACH TRUSS. INSTALL ON OPPOSITE SIDES OF EACH TRUSS END, EACH ONE ON OPPOSITE SIDES OF THE WALL (DIAGONAL METHOD) PER TRUSS MANUFACTURER'S REQUIREMENTS.
 - DESIGN DEAD AND LIVE LOADS ARE AS FOLLOWS:

TOP CHORD LIVE LOAD	30 PSF
TOP CHORD DEAD LOAD	15 PSF
BOTTOM CHORD DEAD LOAD	15 PSF
 - DEFLECTION CRITERIA:

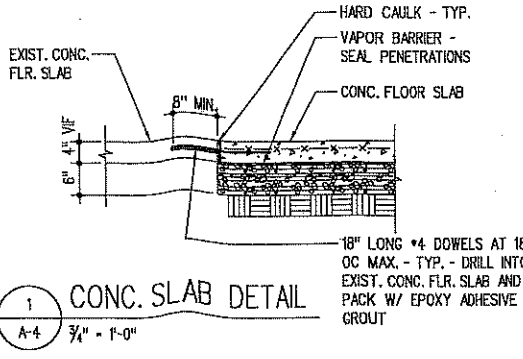
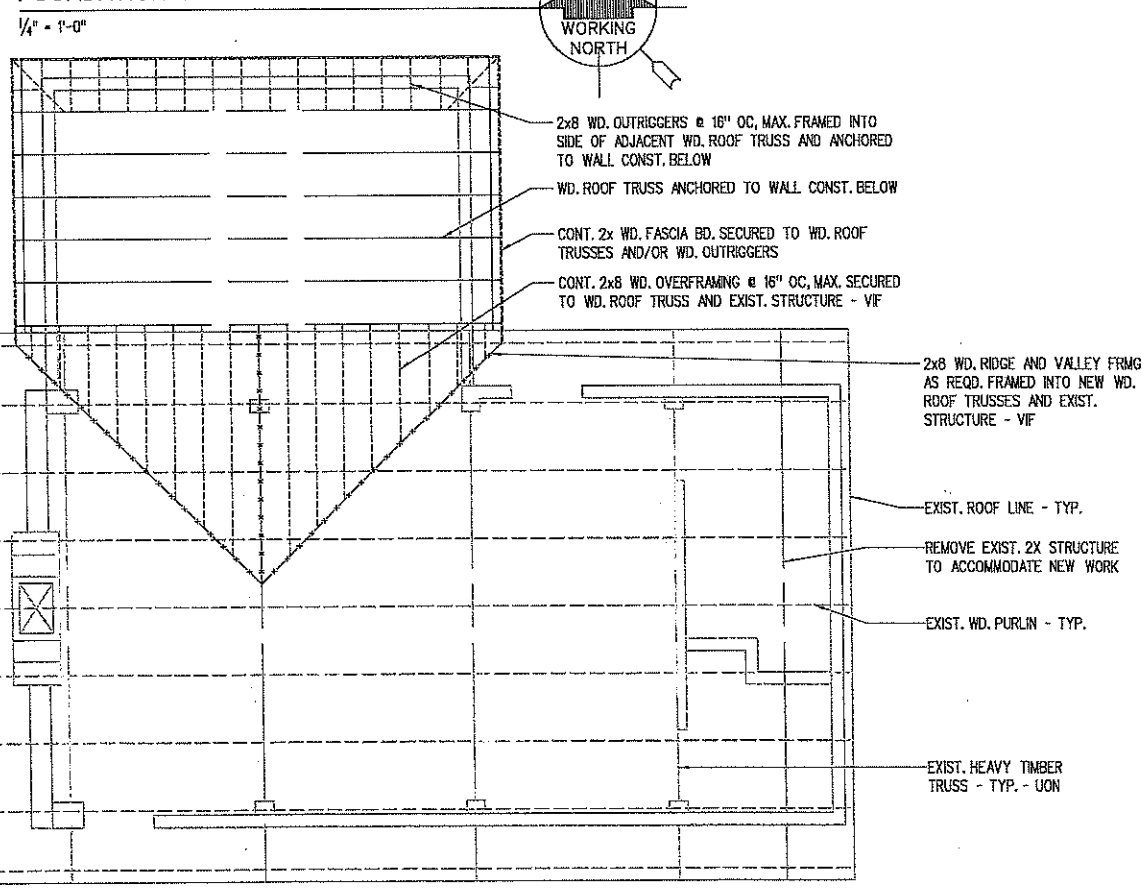
LIVE LOAD DEFLECTION:	
TOTAL LOAD DEFLECTION:	
 - WOOD ROOF TRUSSES SHALL BE DESIGNED FOR MAXIMUM LATERAL MOVEMENT OF 1" TOTAL OVER THE OVERALL LENGTH OF THE TRUSS.
 - WOOD ROOF TRUSSES SHALL BE DESIGNED TO SUPPORT SUPERIMPOSED ARCHITECTURAL LOADS FROM THE TRUSS BOTTOM CHORD AT PANEL POINTS ONLY.
 - WOOD ROOF TRUSSES SHALL BE DESIGNED TO SUPPORT SUPERIMPOSED PLUMBING, FIRE PROTECTION, MECHANICAL, AND ELECTRICAL LOADS FROM THE TRUSS TOP CHORD ONLY.
 - WOOD ROOF TRUSSES SHALL BE DESIGNED FOR REQUIRED LOADS WHETHER INDICATED OR NOT.
 - WOOD ROOF TRUSSES SHALL BE DESIGNED WITHOUT SPLICES OR PIGGYBACKS WHENEVER POSSIBLE. WOOD TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR PROPER DETAILING OF SPLICED AND PIGGYBACKED TRUSSES TO PROVIDE COMPLETE AND SOUND FINISHED TRUSS INSTALLATION.
- WOOD ROOF TRUSS LAYOUT:
 - WOOD ROOF TRUSSES SHALL BE SPACED AT 2'-0" ON CENTER MAXIMUM, AS SHOWN AND/OR AS REQUIRED.
 - ROOF TRUSS MANUFACTURER TO PROVIDE ROOF TRUSS SHAPES AS REQUIRED FOR A COMPLETE AND PROPER INSTALLATION WHETHER SHOWN OR NOT.
 - WOOD ROOF TRUSS MANUFACTURER MAY MODIFY ROOF TRUSS TYPES, LAYOUT, SPAN DIRECTION, WEB CONFIGURATION, ETC. TO PROVIDE A MORE EFFICIENT AND FEASIBLE LAYOUT FOR THE WOOD ROOF TRUSS SYSTEM.
 - WOOD ROOF TRUSS MANUFACTURER TO COORDINATE FOR ARCHITECTURAL, PLUMBING, MECHANICAL, ELECTRICAL, ETC. ITEMS.
 - DESIGN LOADS, INTERIOR CLEARANCES AND PROFILES, EXTERIOR ROOF PROFILES, EDGE DETAILS, ETC. MUST MATCH INDICATED CONDITIONS.
 - ADDITIONAL COORDINATION AND COSTS ASSOCIATED WITH A MODIFIED TRUSS LAYOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- PROVIDE NECESSARY COMPONENTS, SUPPORTS, CLIPS, REINFORCING, BRACING, BRIDGING, OVERFRAMING, SHEAR TRANSFER BLOCKING BETWEEN PLYWOOD ROOF DECK AND TOP OF WALL AT TRUSS HEEL, ETC. REQUIRED TO PROVIDE A COMPLETE AND PROPER INSTALLATION.
- WOOD ROOF TRUSS BEARING ELEVATION: +7'-10 1/2" - VIF

GENERAL FRAMING NOTES:

- DESIGN LOADS CALCULATED IN ACCORDANCE WITH THE PROVISIONS AND REQUIREMENTS OF ASCE/SEI 7-10 AS REFERENCED BY THE 2015 INTERNATIONAL BUILDING CODE.
- DESIGN LOADS

DEAD:	
ROOF	30 PSF
LIVE:	
ROOF	30 PSF
ROOF SNOW:	
P _g - GROUND SNOW LOAD	25 PSF
P _{fe} - FLAT-ROOF SNOW LOAD (CODE)	20 PSF
P _{fo} - FLAT-ROOF SNOW LOAD (DESIGN)	30 PSF
C _e - SNOW EXPOSURE FACTOR	1.00
I _s - SNOW IMPORTANCE FACTOR	1.00
C _t - THERMAL FACTOR	1.00
C _s - ROOF SLOPE FACTOR (4:12 PITCH)	1.00
P _s - SLOPED ROOF SNOW LOAD	30 PSF
WIND:	
V _{ult} - ULTIMATE WIND SPEED	115 MPH
V _{nom} - NOMINAL WIND SPEED	89 MPH
RISK CATEGORY	II
WIND EXPOSURE	C
INTERNAL PRESSURE COEFFICIENT	0.18 ±
SEISMIC:	
RISK CATEGORY	II
I _e - SEISMIC IMPORTANCE FACTOR	1.00
S _s - MAPPED SPECTRAL ACCELERATION	0.164 g
S ₁ - MAPPED SPECTRAL ACCELERATION	0.080 g
SITE CLASS	D
S _{ms} - DESIGN SPECTRAL ACCELERATION	0.175 g
S _m - DESIGN SPECTRAL ACCELERATION	0.128 g
SEISMIC DESIGN CATEGORY	B
- NOTED ELEVATIONS REFERENCE ELEVATION +0'-0", TYP., UNLESS OTHERWISE NOTED.
- PROVIDE 5/8" PLYWOOD ROOF SHEATHING, TYP.
- ROOF FRAMING MEMBERS INCLUDING WOOD ROOF TRUSSES SHALL BE DESIGNED TO SUPPORT ADDITIONAL LOADING FROM SUPERIMPOSED PLUMBING, MECHANICAL, AND ELECTRICAL SYSTEMS AND EQUIPMENT INCLUDING MECHANICAL COMPONENTS, DUCTWORK, AND PIPING.
- COORDINATE EXACT LOADS AND LOCATIONS WITH PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS AND WITH MANUFACTURERS OF SYSTEMS AND EQUIPMENT SUPPLIED.
- PROVIDE HEADERS, AND ROOF OPENING FRAMES FOR OPENINGS NOT SHOWN ON PLANS BUT REQUIRED FOR THE COMPLETION OF THE WORK AND THE PROPER INSTALLATION OF DUCTWORK AND MECHANICAL COMPONENTS. CONTRACTOR TO COORDINATE WITH TRADES.
- THE CONTRACTOR SHALL DETERMINE IN FIELD, THE EXTENT OF EXISTING CONSTRUCTION, MECHANICAL, ELECTRICAL, PLUMBING, AND STRUCTURAL ITEMS TO BE REMOVED TO ACCOMMODATE THE INSTALLATION OF NEW STRUCTURAL MEMBERS. THESE ITEMS TO BE REMOVED INCLUDE BUT ARE NOT NECESSARILY LIMITED TO FINISHES, PIPING, CONDUIT, LIGHTING FIXTURES, DUCTWORK, EQUIPMENT, BRIDGING, BRACING, ACCESSORY FRAMES, ETC. AFTER NEW STRUCTURAL MEMBER INSTALLATION, CONTRACTOR SHALL REINSTALL, REPLACE, AND/OR REROUTE REMOVED ITEMS AND PATCH TO MATCH ADJACENT EXISTING UNDISTURBED AREAS, TYP.
- THE CONTRACTOR SHALL VERIFY IN FIELD, THE LOCATION, SIZE AND EXTENT OF EXISTING FRAMING. APPARENT DISCREPANCIES SHALL BE FORWARDED TO THE ARCHITECT FOR REVIEW.
- REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL STRUCTURAL INFORMATION INCLUDING MISCELLANEOUS ANGLES, CLIPS, BRACES, STRUTS, PLATE GUSSETS, ETC.

FOUNDATION PLAN



FRAMING PLAN



FOUNDATION PLAN, FRAMING PLAN, AND NOTES		PROJ. NO. 7-3119-74
CABIN ADDITION 490 ILLINOIS STREET FOR COAL CITY BOY SCOUT TROOP 466 COAL CITY, GRUNDY COUNTY, ILLINOIS		DRAWN BY AMB DATE 01-24-2020 REVISIONS
HEALY, BENDER & ASSOCIATES, INC. ARCHITECTS PLANNERS 490 BELLE AVENUE, MERRILLVILLE, IN 46751 TEL: 847.344.1100 FAX: 847.344.1101		SHEET NO. A-4 OF 4

MEMO

TO: Mayor Halliday and the Board of Trustees

FROM: Matthew T. Fritz
Village Administrator

MEETING

DATE: June 22, 2022

RE: CBA MEMORANDA OF UNDERSTANDING SETTLING BARGAINING ISSUES

The Village of Coal City's Police Department employs a collective bargaining unit, which is Metropolitan Alliance of Police, Chapter #186, which includes all of the full-time patrol officers and sergeants. An agreement (i.e. collective bargaining agreement, CBA) was entered into by both the union and village controlling the terms of employment for its members between May 1, 2018 and April 30, 2024. In the interim, since the CBA's recording, there are two issues that have caused a series of actions and grievances due to the implementation of policy surrounding the existing language within the CBA.

The two issues involve the allotment of vacation time for initial hires after full-time patrol officers complete their one-year probationary period. The benefits to be provided within the contract are covered within Article VI (attached). In addition, Chief Harseim attempted to implement certain standards regarding officers utilizing lunch break time prior to the beginning of 2022 according to Section 5.3.2, which was met by opposition.

Through a series of mediations regarding these issues, both sides believe it to be in the best interest of Coal City residents to agree upon a series of memoranda of understanding (MOUs) in order to avoid having the current disputes revolving around these two core issues be decided upon through a regulated arbitration practice. Included within these documents that recognizes the past practice wherein officers have been allowed to utilize a lunch break within a "reasonable area" from the Police Department. The MOU regarding this policy establishes a 3.1 mile radius surrounding the Police Department so no one need determine the definition behind what that reasonable distance might be. Another MOU acknowledges that any future hires will receive a partial allotment of vacation time upon the expiration of their probationary status allowing vacation to be awarded at the end of one year of service in a manner that allows the first time recipient of vacation time to fall into the calendar schedule of benefits that are utilized organization-wide at the beginning of each calendar year.

Recommendation:

Authorize Mayor Halliday to enter into the Memoranda of Understanding surrounding the two disputed benefits – initial allotment of vacation time and lunch break geographic allowances.

ARTICLE V
COMPENSATION AND HOURS OF WORK

Section 5.1 Application

This Article is intended to define the normal hours of work and shall not be construed as a guarantee of a maximum or minimum daily or weekly work schedule.

Section 5.2 Compensation

The base salary, step movement and placement of officers on the salary schedule shall be in accordance with Appendix A.

Section 5.3 Hours of Work and Overtime

Overtime shall be mandatory.

5.3.1 Eight-Hour Shift

Employees who are assigned to an eight-hour shift shall receive overtime pay for all time worked in excess of 80 hours in a 14-day work period. Overtime shall be compensated at a rate of one and one-half (1-1/2) times the employee's regular hourly straight time rate of pay. For purposes of overtime pay calculations, time worked shall include all authorized paid time off.

Employees shall be permitted two 15 minute rest periods, one to be taken at a reasonable time during the first half of the shift and one to be taken at a reasonable time during the second half of the shift, and one 30 minute meal period during each shift. Employees shall remain on duty and within Village limits during rest and meal periods.

5.3.2 Twelve-Hour Shift

Employees shall be assigned to a twelve-hour shift and shall receive overtime pay for all time worked in excess of 84 hours in a 14-day work period. Overtime shall be compensated at a rate of one and one-half (1-1/2) times the employee's regular hourly straight time rate of pay. For purposes of overtime pay calculations, time worked shall include all authorized paid time off.

Employees shall be permitted two 15 minute rest periods and one 45 minute meal period during each shift. Employees shall remain on duty and within Village limits during rest and meal periods.

Employees shall bid annually by seniority to the following shifts:

Days:	0600hrs – 1800hrs
Afternoons:	1400hrs – 0200 hrs
Nights:	1800hrs – 0600 hrs

Employees working on the afternoon shift (1400-0200hrs) may be required to work either the day or night shift should manpower needs require, as long as they are provided with a minimum of 48 hours advance notice. Afternoon shift employees being temporarily adjusted to day or night shift shall be granted a minimum of 8 hours rest between shifts and

ARTICLE VI
VACATION

Each full-time police officer shall receive annual paid vacation leave in accordance with the following schedule in the calendar year in which the employee reaches the service requirement:

<u>Years of Service</u>	<u>Vacation</u>
After 1 year	84 hours
Six through ten	126 hours
Eleven through sixteen	168 hours
After sixteen	180 hours
After seventeen	192 hours
After eighteen	200 hours
After nineteen	208 hours
After twenty	216 hours

All vacations shall be scheduled with the approval and consent of the Police Chief. Vacations must be used each calendar year, unless the employee is required by the employer not to use said vacation time. Except as provided herein, all earned vacation not used by the employee by the end of the Calendar year shall be forfeited unless the vacation time is not used because of the employer's requirements.

REQUEST FOR QUALIFICATIONS for PHASE 2 DESIGN & ANALYSIS OF THE N. BROADWAY RECONSTRUCTION PROJECT

In compliance with the Local Government Professional Services Selection Act, the Village of Coal City (“Village”) is seeking the services of a qualified professional engineering firm to complete the N. Broadway Reconstruction Phase 2 Design and Analysis for the Village of Coal City. This project includes, but is not limited to, planning, engineering and designing the reconstruction of a section of North Broadway between Division to North Street, continuing eastward to its turn at Dresden Road (Pequot Curve) in the Village of Coal City, determining the proposed construction budget, evaluating the necessary improvements related to this construction project, evaluating and comparing multiple solutions to utilize best management practices, and developing contract design drawings, specifications, and construction bid documents for the reconstruction of N. Broadway. The proposed construction of this project shall be in 2025 in compliance with federal and state regulations for the completion of a scheduled project within the existing transportation improvement plan. The services described within the Preliminary Scope of Work must be completed by March 3, 2023. The Village requests from engineering firms submittals of a Statement of Interest in the project described herein, and a Statement of Qualifications addressing the specified Request for Qualifications (“RFQ”) criteria.

1. INTRODUCTION

This Request for Qualifications “RFQ” is intended to procure professional consulting services to determine the evaluation and design of the full reconstruction of a section of N. Broadway in order to fully replace and reconstruct the public right of way within federal standard. Services from the selected consultant shall be provided according to the listed requirements. The Village of Coal City would like the services to be provided within the Scope of Work and shall be concluded by **March 3, 2023.**

2. REQUIREMENTS FOR SERVICES

Each submitting firm must have the capability to provide the full range of services required for the services noted in the Preliminary Scope of Work. The various work performed by the firm shall be performed by, or where appropriate, under the direction of, personnel possessing the appropriate education, experience and training or other certifications required or desirable for the various disciplines necessary for the successful completion of services described in the Preliminary Scope of Work. Previous professional work in the subject areas, specifically related to mixed use sections project in a manner compliant with federal and state requirements, will be a heavily weighted factor in the selection process. Quality of performance on previous contracts, ability to meet project schedules and budgets, ability to communicate well with municipal staff, elected officials, and deliver the intended product will be some of the attributes and factors considered.

3. RESPONDENT REGISTRATION

If you represent an engineering firm intending to respond to this RFQ, you must notify the Village of Coal City of your intent to qualify by **Tuesday, August 2, 2022.** This shall allow any amendments or clarifications to be shared with all interested parties in a timely manner, prior to the requirement to provide necessary qualifications.

To register as a responding entity, please submit a Statement of Interest to Matt Fritz, Coal City's Village Administrator, via the contact information provided below.

4. SCHEDULE OF RFQ EVENTS

The Village of Coal City reserves the right to amend, withdraw and cancel this RFQ. The Village reserves the right to reject all responses to the RFQ at any time prior to contract execution. The Village reserves the right to request or obtain additional information about any and all submittals. It is the goal of the Village to select the consultant/team or consultants/teams by **August 24, 2022**. In preparation for that action, the following schedule of events has been prepared:

- Deadline for submission of written questions to the Village: **Thursday, August 4, 2022 at 2:00 PM** (Questions should be e-mailed to Matt Fritz at mfritz@coalcity-il.gov).
- Statement of Qualifications are due **Tuesday, August 9, 2022 at 4:00 PM**.
- Notification of the top ranked submittals for oral interview: **Monday, August 15, 2022**.
- Top ranked proposers participate in oral interviews: **Thursday, August 18, 2022**.

All requests for clarifications, changes, exceptions or deviations to the Scope of Work or terms and conditions set forth in this RFQ must be submitted to:

Mr. Matt Fritz, Village Administrator
515 S. Broadway
Coal City, IL 60416

E-Mail: mfritz@coalcity-il.gov
Telephone: (815) 634-8608
Facsimile: (815) 634-2487

Prospective firms are encouraged to promptly notify the Village of any apparent inconsistencies in this RFQ and attachments.

5. PERIOD OF PERFORMANCE

Performance under a contract awarded pursuant to this RFQ is intended to commence immediately and extend for the period necessary to bring the N. Broadway Reconstruction through a formal bidding process. An overall contract "Notice to Proceed" will be issued to the successful firm subject to the successful conclusion of contract negotiations. Individual "Notice(s) to Proceed" will subsequently be issued for each as-needed project assignment, following negotiations of the scope of work.

The Village reserves the right to modify the composition of and the scope of services requested through this RFQ. The as-needed services are subject to performance and termination sections to be included within a contract for service that shall closely resemble the qualifications and details provided herein.

6. STATEMENT OF QUALIFICATIONS

8 copies of the Statement of Qualifications, including one copy containing an original signature, must be provided no later than **Tuesday, 4:00 PM, on August 9, 2022.** Submittals received after this time will not be accepted and will be returned unopened. All submittals should be clearly marked with the submittal address as follows:

Mr. Matt Fritz, Village Administrator
515 S. Broadway
Coal City, IL 60416

RE: RFQ Submittal for the Coal City N. Broadway, Phase 2 Project

7. PREPARATION OF STATEMENT OF QUALIFICATIONS

The Statement of Qualifications shall be signed and sealed by a duly authorized official of the consulting firm. The Statement of Qualifications shall contain an acknowledgment of receipt of all amendments and/or addenda to the RFQ.

8. REQUIRED FORMAT FOR THE STATEMENT OF QUALIFICATIONS

The Village would like responding firms to provide the information under each of the subsections listed below. Please address each portion adequately to the best of the firm's ability. Note that in accordance with the Local Government Professional Services Selection Act, a responding firm should *not* submit to the Village any verbal or written estimates of costs or proposals in terms of dollars, hours required, percentage of construction costs, or any other measure of compensation.

8.1 Cover Letter

The cover letter shall be limited to two (2) pages maximum. The cover letter shall include a summary of the Statement of Qualifications, including a brief description of the proposed team, and other key staff. It shall make a commitment to accept the terms and conditions in the RFQ and Pro Forma contract, including acknowledgment of receipt of all amendments and/or addenda to the RFQ. If there are any exceptions, they shall be noted in the cover letter.

Any requested exceptions shall include alternative language where applicable. Exceptions noted will be reviewed by the Village Attorney's office early in the selection process. Should the requested exceptions and contract language changes be determined unacceptable by the Village Attorney's office, the proposal will not be further considered by the selection committee. Therefore, it is incumbent upon the proposer to only request those exceptions and contract language changes that the proposer must legally have in order to enter into a contract with the Village. The letter shall also identify a single person for possible contact during the RFQ review process.

8.2 Project Understanding and Approach

This section should demonstrate an understanding of the scope of services. It should describe the general approach, organization, and staffing required for the services requested. The firm shall include a matrix/summary identifying key personnel

responsible for accomplishing all aspects of the work within the targeted Phase 2 deliverables deadline.

8.3 Qualifications of Firm/Team Staff

This section shall identify the qualifications and related experience of key and significant staff (i.e. direct reports and any others performing important tasks) assigned to the contract. This section shall also include cameo resumes of all staff identified above. The cameos shall include a summary of relevant project management and work experience, years of relevant experience, the current and proposed location of the person, a statement of availability, and identification of the firm this person is employed by. Two references shall be provided for each key staff member. This section shall also include a table of each key person showing their availability for the duration of this work as well as any commitment to other projects.

8.4 Experience of Firms

Relevant experience of the team included in this RFQ shall be identified. Include project descriptions, and status of related projects. Clearly identify the role of key staff identified herein, and identify current client references. The focus should be on experience in bringing final construction forward from projects with completed Phase One Engineering Studies, ability to meet federal and state funding criteria for the construction of public improvements and utilization of best practices to maximize long-term infrastructure placement maximizing public investment. Do not include projects by the firm unless the key staff proposed had a significant role in the project.

The team shall demonstrate its financial stability and capability to provide the services to meet the expectations of the Village as described above. The firm should demonstrate financial stability and capability in the following manner:

- Corporate history
- Years in existence
- Size of corporation
- Other documentation as deemed relevant.

8.5 Appendices

Full resumes of proposed staff shall be included in this section. Relevant team project information may also be included in this section. However, other than staff resumes, firm information and general marketing materials will not be considered in the ranking of the firms submitting the Statement of Qualifications.

9. COST OF RFQ RESPONSE PREPARATION

The Village shall not be liable for any pre-contractual expenses incurred by any firm preparing a submittal. Each firm shall protect, defend, indemnify, and hold harmless the Village from any and all liability, claims, or expenses whatsoever incurred by, or on

behalf of, the entity participating in the preparation of its response to this RFQ. Pre-contractual expenses are defined as expenses incurred by consultants, if any, in:

- Preparing the Statement of Qualifications and related information in response to this RFQ.
- Negotiations with the Village on any matter related to this procurement.
- Costs associated with interviews, meetings, travel or presentations.
- All other expenses incurred by a firm prior to the date of award and a formal notice to proceed.

10. WITHDRAWAL OF STATEMENT OF QUALIFICATIONS

Statement of Qualifications may be withdrawn by written notice received by the Village at any time prior to the submittal deadline.

11. GENERAL TERMS AND CONDITIONS

An agreement regulating the terms and conditions of consultant employment shall be created, which provides the services requested within. Each prospective firm is expected to acknowledge their acceptance to enter into a contractual relationship with the Village within their Submittal cover letter (or their objections or expected specifications) as a mechanism to expedite the contract negotiation process. The Village reserves the right to further clarify the terms and conditions. The intent of the Village is to enter into an agreement with the selected consultant(s) as soon as possible to begin Phase 2 Design Engineering.

In the event of a delay in reaching a contract agreement, the offer of key personnel identified in the RFQ shall be valid for 120 days after submittal of the Statement of Qualifications.

12. KEY PERSONNEL

It is imperative that the key personnel providing the requested services have the background, experience, and qualifications to provide the services described in this RFQ. The Village reserves the right to approve all key personnel individually and all sub-consultants for work on this contract. The consultant must identify all proposed key personnel. The Statement of Qualifications shall include a table for key personnel (i.e. direct report to the Project Manager) showing their availability to the Village of Coal City Broadway Phase 2 Project and commitment to other projects.

All key staff shall be named in the contract. After the contract is signed, the firm may not replace key staff without written agreement by the Village. The Village must approve replacement staff before a substitute person is assigned. The Village reserves the right to request the firm replace a staff person assigned to the contract should the Village consider such a replacement to be for the good of the project. Replacement staff would be subject to Village Administrator approval prior to assignments to the team.

13. OFFICE LOCATION/TRAVEL

There is no intention for firm personnel to be housed at the Village's office. The Village does not intend to reimburse the Consultant for personnel relocation or travel outside of the office under this contract.

14. COMPENSATION

In accordance with the Local Government Professional Services Selection Act, a responding firm should *not* submit to the Village any verbal or written estimates of costs or proposals in terms of dollars, hours required, percentage of construction costs, or any other measure of compensation. The compensation eventually negotiated with the successful firm will be set at a fixed professional hourly rate for each level of professional skill and shall remain fixed for the duration of the Agreement.

15. SCOPE OF WORK

A Preliminary Scope of Work is provided in Appendix A. The Phase One Study, previously completed, has been attached as Appendix B. These document can be located in their entirety at the Village's website – [www.coalcity-il.gov/Broadway Reconstruction docs/](http://www.coalcity-il.gov/Broadway_Reconstruction_docs/)

16. NEGOTIATIONS AND AWARD

Submittals will be evaluated by a panel comprised of Village staff, elected officials, and residents on the basis of the evaluative criteria described herein. Following preliminary evaluations, the Village will select three (3) firms for interviews to discuss in greater detail the approach the firms plan to take, anticipated schedule, key staff, experience, and qualifications. Following interviews, the Village will negotiate with the person/entity or persons/entities whose Statement(s) of Qualifications best meet the needs of the Village. If the Village is unable to obtain a fair and reasonable agreement regarding the terms of a contract, the Village may begin negotiations with the next person or entity who best meets the needs of the Village, and so on until the Village and a proposer(s) reach agreement. The Village shall enter into contract with one firm.

17. EVALUATION PROCESS AND CRITERIA

The Village Administrator will appoint a selection panel to evaluate the Statement of Qualifications. Each member of the selection panel will evaluate each submittal using a 100-point scale and the evaluation criteria listed below to calculate a "submittal score" for each firm.

WRITTEN PROPOSAL EVALUATION CRITERIA:

- | | |
|-----------|--|
| 25 points | 1. Qualifications, appropriateness, completeness, and experience of the firm in providing the required consulting services as described in the Preliminary Scope of Work in a timely manner. |
| 10 points | 2. Team organization and the qualifications and experience of the key personnel in providing the required services. |

- | | |
|-----------|--|
| 25 points | 3. References and performance records on similar projects and/or undertakings. |
| 20 points | 4. Project Management qualifications and acumen including methodology and response approach to the client's as-needed projects requests; cost, quality and schedule controls; and written communication skills. |
| 20 points | 5. Knowledge of completing large scale reconstruction projects within the appropriated funds meeting the needs of the various entities including impacted businesses as well as accommodating multiple modes of utilization (i.e. pedestrian, bicyclists, and auto). |

100 TOTAL Points Possible

Members will then rank the teams by the respective "submittal score." The selection panel will convene to discuss and evaluate scoring, and to select a short list of the top-ranked firms based upon the ranking (not scores) of the submitting consultants. Short-listed firms will be invited to respond to questions about their submittals at an oral interview. Presenters will be expected to participate in the interview to a degree commensurate with their role in the firm's submittal. Notification to the short-listed teams will include a time limit for their presentation after which the selection panel will evaluate each presentation using a 100-point scale and the following evaluation criteria to calculate an "oral-interview" score for each short-listed firm.

EVALUATION CRITERIA FOR ORAL PRESENTATIONS OF TOP RANKED CONSULTANTS:

- | | |
|-----------|---|
| 20 points | 1. Overall qualifications of proposed team and experience in the required areas. |
| 25 points | 2. Demonstrated prior experience with successful Phase 2 Analyses within the proposed project timelines. |
| 20 points | 3. Depth and availability of required resources. |
| 20 points | 4. Project Management acumen including ability to effectively work together with village residents and business owners, village staff, and intergovernmental regulatory agencies. |
| 15 points | 5. Oral communication/interpersonal skills including responses to interview questions. |

100 TOTAL Points Possible

After the oral interviews are complete, each selection panel member will rank the consultants by their respective “oral-interview score” (scores and rankings from the written evaluations are not considered). The selection panel will determine the highest qualified consultant/team, or consultant(s)/Team(s) if it is determined by the Village that more than one consultant/team is required for the anticipated projects, based on the rankings (not scores) of the oral interviews. The Village Administrator will submit the recommendation of the selection panel to the Village Board for approval. The Consultant must be prepared to negotiate a contract with the Village Administrator for submission and acceptance of the Village Board.

18. NOTIFICATION OF UNSUCCESSFUL OFFERERS

The Village Administrator shall notify all of the firms of the selection panel’s recommendation once the recommendation is transmitted to the Village Board of Trustees.

19. ADDITIONAL INFORMATION

19.1 Conflict of Interest

The consultant may be required to complete conflict of interest forms. Additionally, if selected to provide the required services, the consultant’s firms or its subsidiaries may not be allowed to propose or bid on other aspects of the projects.

19.2 Indemnification

The selected firm shall be contractually obligated to indemnify and hold harmless the Village, its corporate authorities and elected officials, officers, directors, agents, employees, and representatives from lawsuits, actions, costs (including attorney’s fees), claims or liability of any character, incurred due to the alleged negligence of the firm, brought because of any injuries or damages received or sustained by any person(s) or property on account of any act or omission, neglect or misconduct of said firm, its officers, agents and/or employees arising out of, or in performance of any of the provision of the contract documents, or from any claims or amounts arising under the Worker’s Compensation Act or any other law, ordinance order or decree. In connection with any such claims, lawsuits, actions or liabilities, the Village of Coal City, its corporate authorities and elected officials, officers, directors, agents, employees, and representatives shall have the right to defense counsel of their choice. The firm shall be solely liable for all costs of such defense and for all expenses, fees, judgments, settlements and all other costs arising out of such claims, lawsuits, actions or liabilities.

APPENDIX A, PRELIMINARY SCOPE OF WORK

Village of Coal City N. Broadway Reconstruction Phase 2 Engineering Project

Overview of Services

The Village of Coal City would like to maintain its schedule to reconstruct a portion of N. Broadway, which is a federal aid route (urban) slated for funding within the transportation improvement plan administered through the Will County Governmental League in 2025. This project which is to be funded with 80% federal road improvement funds shall require coordination with IDOT District 3 (Ottawa Office). The total reconstruction project to be funded is estimated at \$6.7 million from the completed Phase One Analysis. Costs expended related to the work contained within Phase 2 Engineering are intended to come from this portion of appropriated funds; expenses incurred must comply with state and federal regulations.

At the completion of this phase of engineering, the Village expects to be able to:

- 1.) attain a bid date
- 2.) have full design completed to competitively bid the project
- 3.) have communicated to the public, including its affected business, land and adjacent residential owners:
 - the appearance of the new improvements
 - the process by which the improvements will be installed
 - how the intended improvements will function and operate

Phase 2 Engineering Concerns specific to the N. Broadway Reconstruction

Although it is expected the Phase Two design shall comply within state and federal guidelines, the study shall specifically include solutions and/or consideration for the following:

- 1.) Allowing Bi-Modal Transportation Adjacent to the Coal City Elementary School. There is a large area of the proposed project in which a School Safety Zone is located due to the location of the Coal City Elementary School at 300 N. Broadway. There are many safety concerns related to the mixture of vehicular, bicycle, and pedestrian traffic within this area. Coal City regularly utilizes a crossing guard program for the corridor's current design, which included two "Safe Routes to School" connections in the past. The Phase One Plan relies upon onstreet parking located within the parkway on the west side to be adjusted farther westward to relieve a great deal of congestion within this area.
- 2.) Connecting the North Street Improvements with the N. Broadway Reconstruction. The approved termini for this project includes a portion of roadway that connects large employers like Constellation Energy to the community as well as relies upon trucking deliveries at PLZ Corp. while being adjacent to Coal City Residents. Any bi-modal responses to move traffic via bicycle should be continued and connected for this

neighborhood as well. These portions have already received a great deal of storm water collection and conveyance in the past, which should provide adequate flow for additional roadway improvements in the future. Please note, this project scored favorably due to the inclusion of identifying opportunities for the utilization of storm water best management practices; those large parkways along North Street should provide ample opportunity for such solutions.

- 3.) Continuing the Streetscape from S. Broadway northward into this section of improvements. The improvement created by the S. Broadway Reconstruction project should continue in the streetscape of this project. Continuity should be planned upon relating to the wide walking paths to the lighting within the corridor. Although the residential utilization of the east side of N. Broadway is foreseen as changing the final cross section, the final cross section should include elements that tie these improvements with those made south of Division/State Route 113.

Additional Services

The firm shall contemplate the best means of maximizing federal participation within the reconstruction sections to be bid. The inflationary cost of construction materials and services may require two constructions sections rather than constructing the full project from Division to Dresden Road.

The above list of potential services and projects is intended to be representative of the type of projects and services the Village of Coal City anticipates. It may not be a complete list and projects listed may not be performed.